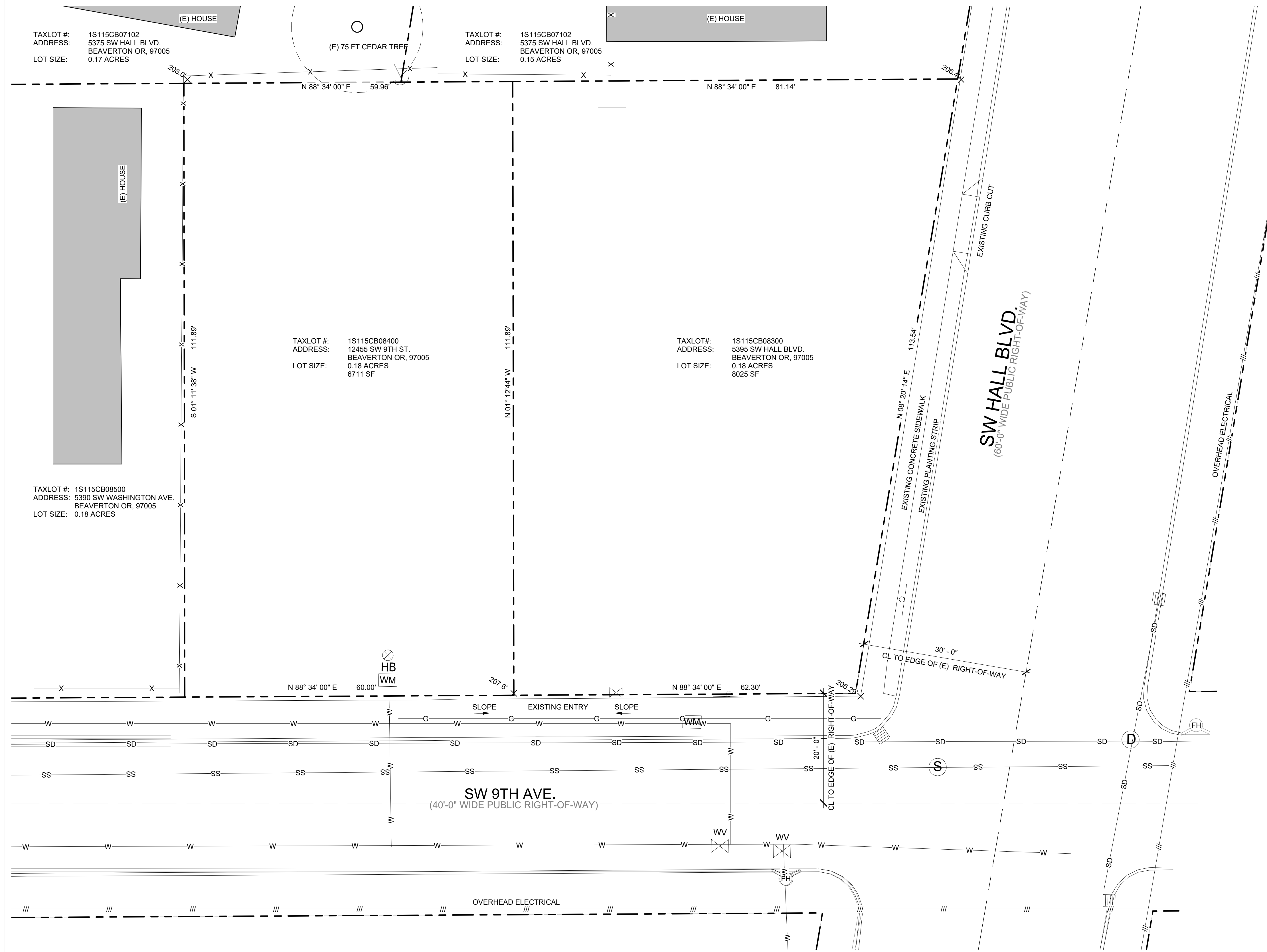
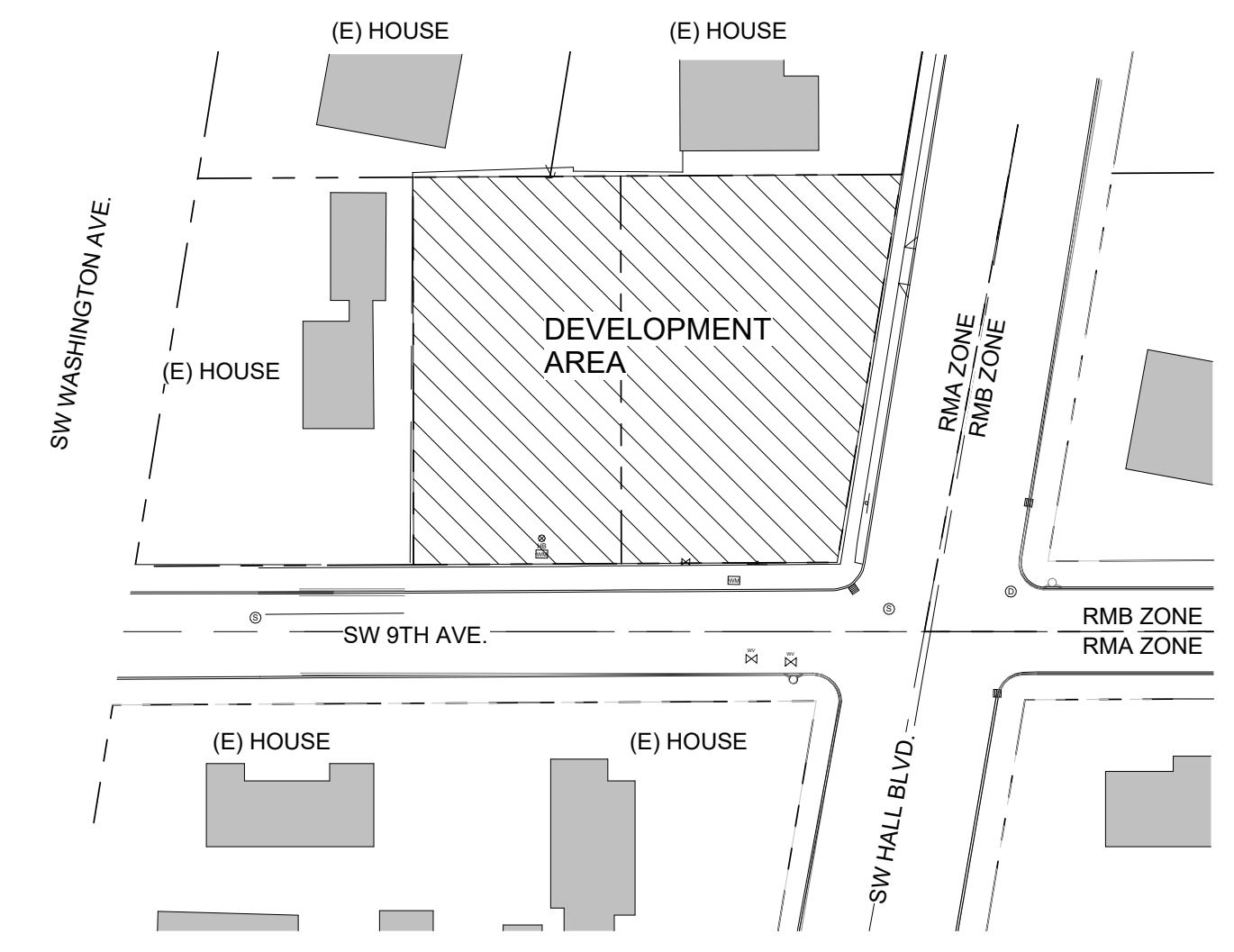
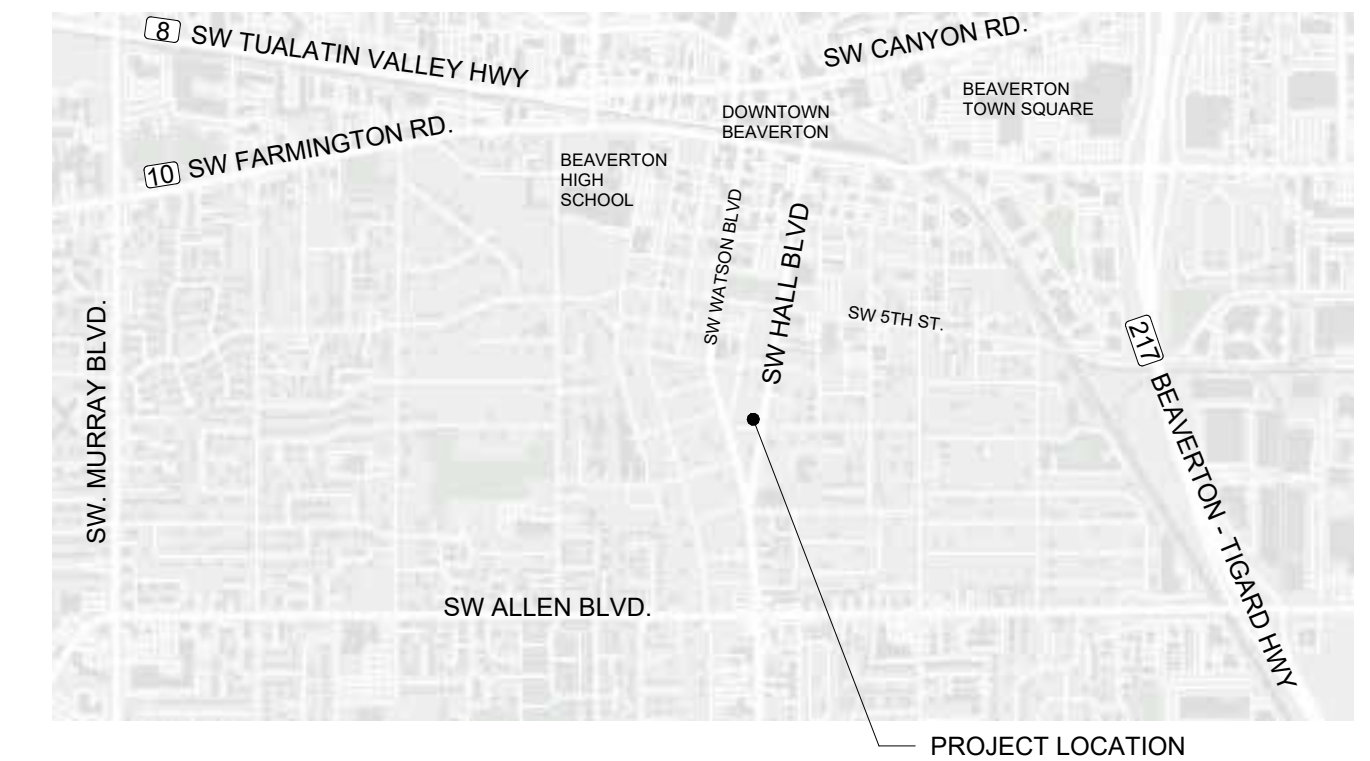


Received
Planning Division
06/26/2023



VINCINTY PLAN



PROJECT TRUE
NORTH NORTH
1 SITE PLAN - EXISTING
1" = 10'-0"

2 SITE PLAN - EXISTING
1" = 50'-0"

CONVERGENCE ARCHITECTURE
7302 N Richmond Ave. Portland, OR 97203
ph. 503.308.1028 fax 503.308.8272
info@convarc.com
www.convergencearch.com

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PRELIMINARY NOT FOR CONSTRUCTION

BEAVERTON 9TH & HALL
5293 SW HALL BLVD & 12455 SW 9TH AVE
BEAVERTON, OR 97005
LAND USE SET

Date: 03/27/2023
Project #: 2111
Drawn by: ACP
Checked by: EE

Revisions:
No. Description Date
1 REV 1 06/26/2023

EXISTING SITE PLAN

A1.0

TAXLOT #: 1S115CB07102
 ADDRESS: 5375 SW HALL BLVD.
 BEAVERTON OR, 97005
 LOT SIZE: 0.17 ACRES

TAXLOT #: 1S115CB07102
 ADDRESS: 5375 SW HALL BLVD.
 BEAVERTON OR, 97005
 LOT SIZE: 0.15 ACRES

LOT 3
 TAXLOT #: 1S115CB08400
 (E) LOT SIZE: 6,711 SF
 PROPOSED LOT: 6,350 SF

LOT 2
 (E) TAXLOT #: 1S115CB08300
 PROPOSED LOT: 3,476 SF

LOT 1
 (E) TAXLOT #: 1S115CB08300
 PROPOSED LOT: 3,529 SF

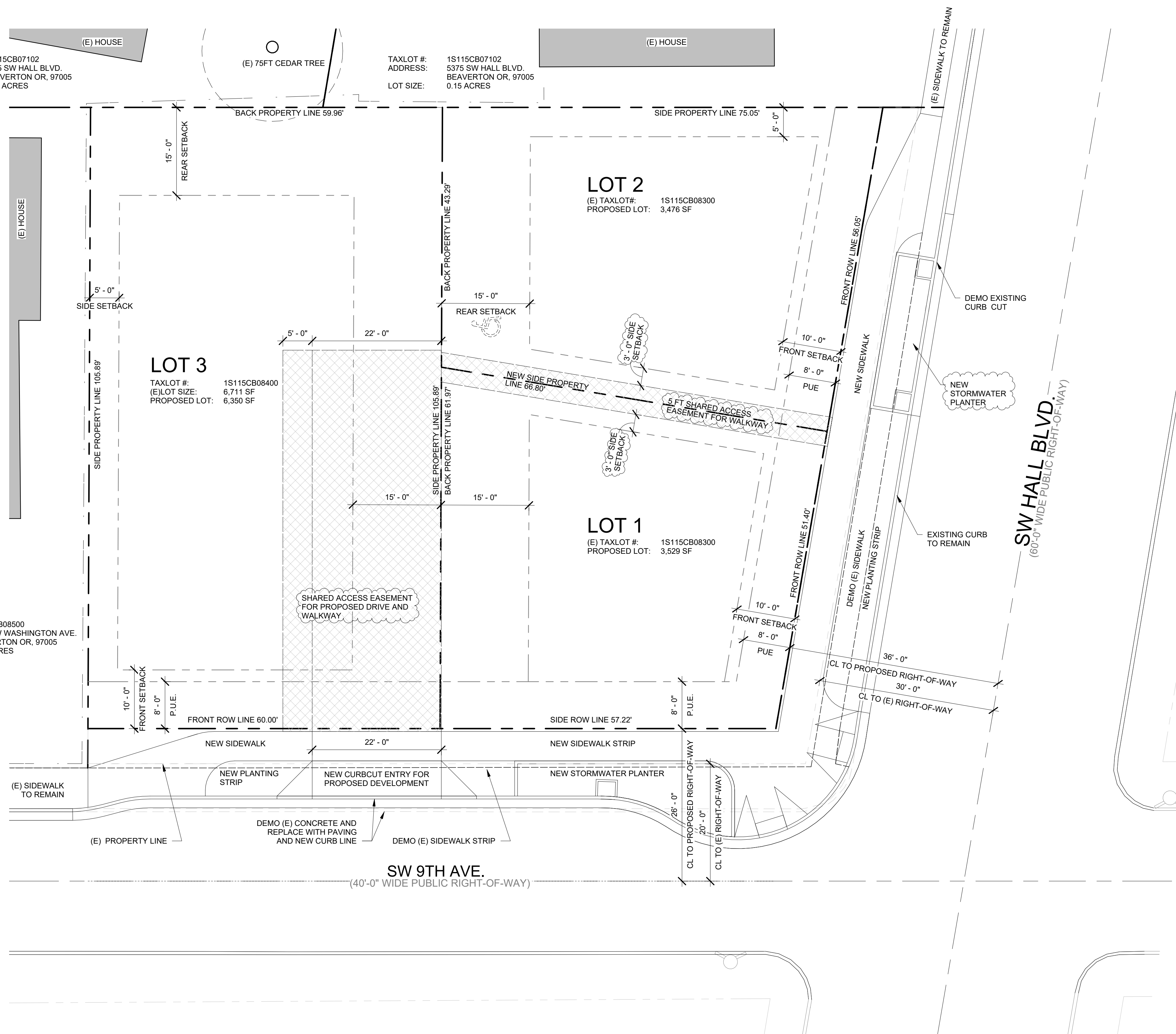
TAXLOT #: 1S115CB08500
 ADDRESS: 5390 SW WASHINGTON AVE.
 BEAVERTON OR, 97005
 LOT SIZE: 0.18 ACRES

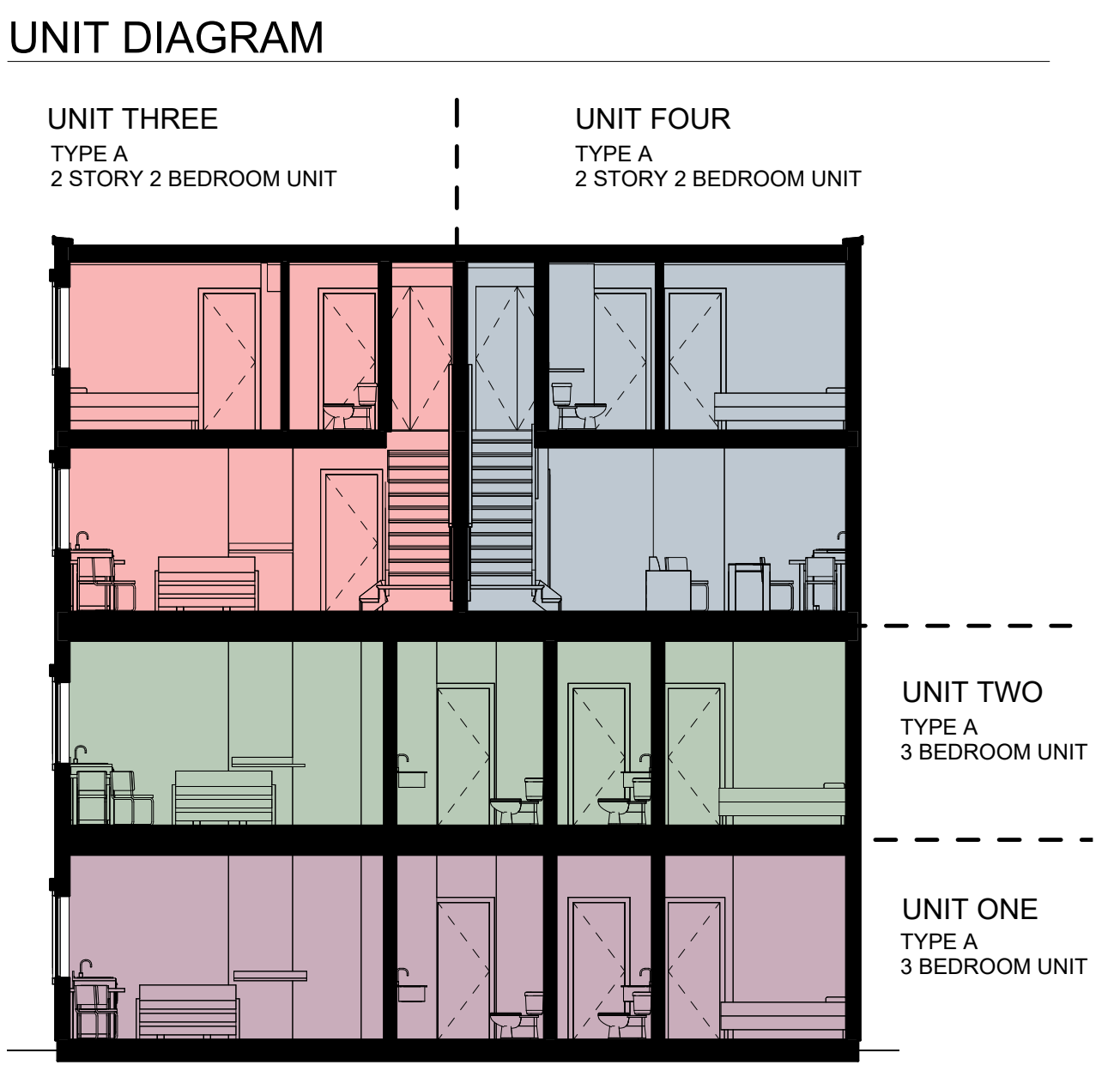
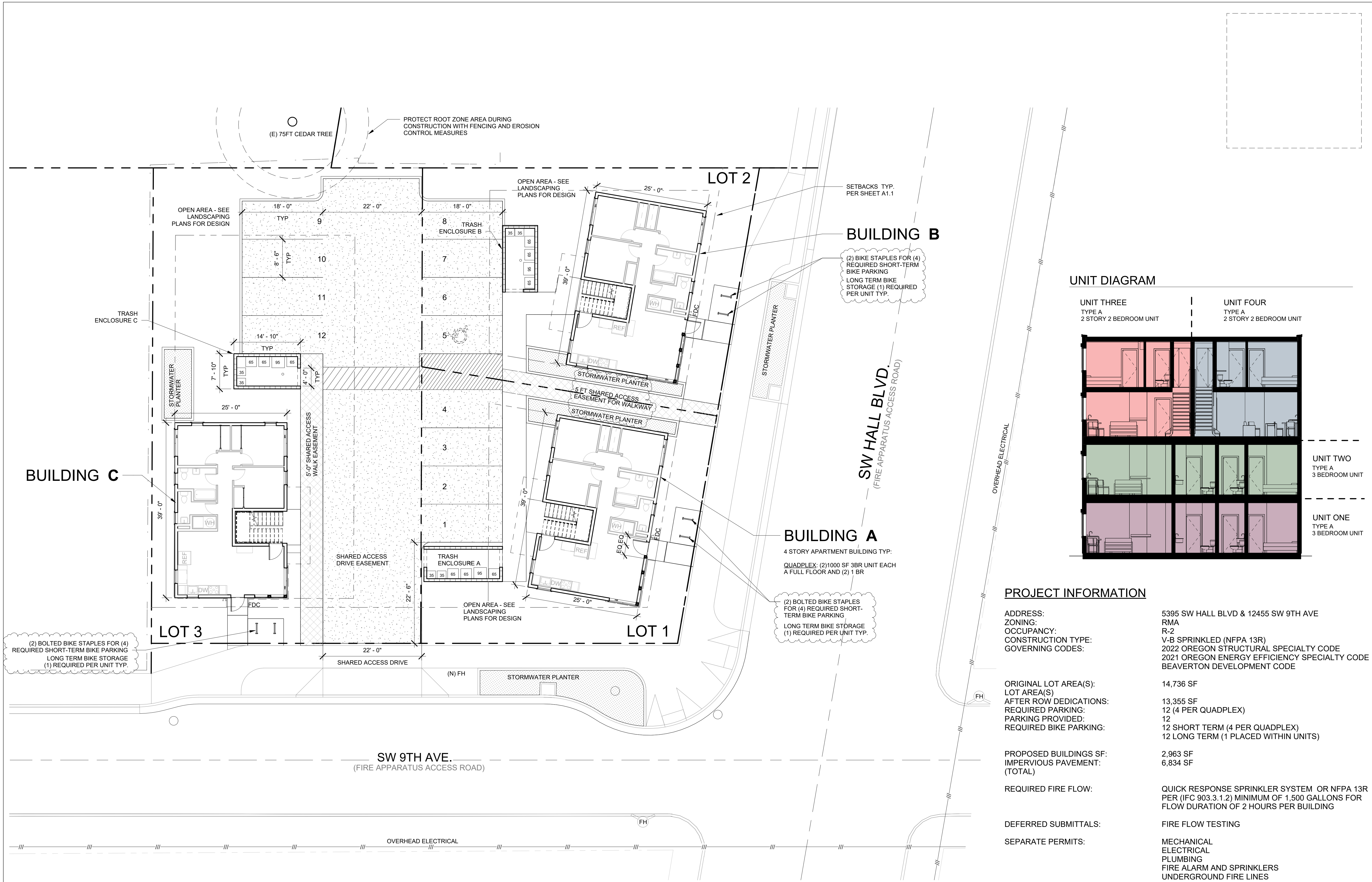
PROJECT INFORMATION

ADDRESS: 5395 SW HALL BLVD & 12455 SW 9TH AVE
 ZONING: RMA
 ORIGINAL LOT AREA(S): 14,736 SF
 LOT AREA(S): 2111
 AFTER ROW DEDICATIONS: 13,354 SF

CHANGE OF LOT AREAS

(E) LOT (1S115CB08300): 8,025 SF
 PROPOSED LOT 1: 3,476 SF
 PROPOSED LOT 2: 3,529 SF
 (E) LOT (1S115CB08400): 6,711 SF
 PROPOSED LOT 3: 6,350 SF





PROJECT INFORMATION

ADDRESS:	5395 SW HALL BLVD & 12455 SW 9TH AVE
ZONING:	RMA
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	V-B SPRINKLED (NFPA 13R)
GOVERNING CODES:	2022 OREGON STRUCTURAL SPECIALTY CODE 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE BEAVERTON DEVELOPMENT CODE
ORIGINAL LOT AREA(S):	14,736 SF
LOT AREA(S):	13,355 SF
AFTER ROW DEDICATIONS:	12 (4 PER QUADPLEX)
REQUIRED PARKING:	12
PARKING PROVIDED:	12 SHORT TERM (4 PER QUADPLEX) 12 LONG TERM (1 PLACED WITHIN UNITS)
REQUIRED BIKE PARKING:	
PROPOSED BUILDINGS SF:	2,963 SF
IMPERVIOUS PAVEMENT:	6,834 SF
(TOTAL)	
REQUIRED FIRE FLOW:	QUICK RESPONSE SPRINKLER SYSTEM OR NFPA 13R PER (IFC 903.3.1.2) MINIMUM OF 1,500 GALLONS FOR FLOW DURATION OF 2 HOURS PER BUILDING
DEFERRED SUBMITTALS:	FIRE FLOW TESTING
SEPARATE PERMITS:	MECHANICAL ELECTRICAL PLUMBING FIRE ALARM AND SPRINKLERS UNDERGROUND FIRE LINES FIRE KEY BOX

NOTE: ALL OTHER AREAS ON SITE BE LANDSCAPE - SEE LANDSCAPE SHEETS

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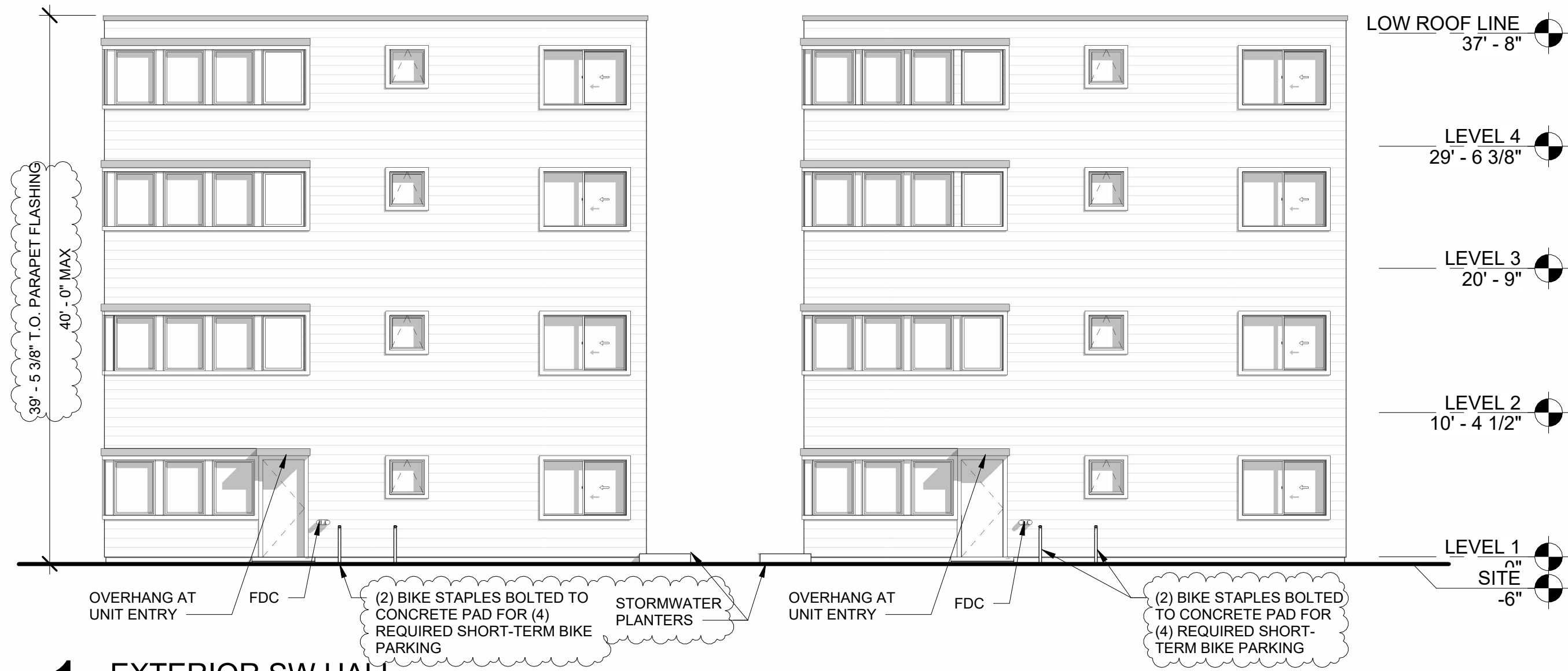
PRELIMINARY NOT FOR CONSTRUCTION

BEAVERTON 9TH & HALL
 5395 SW HALL BLVD & 12455 SW 9TH AVE
 BEAVERTON, OR 97005

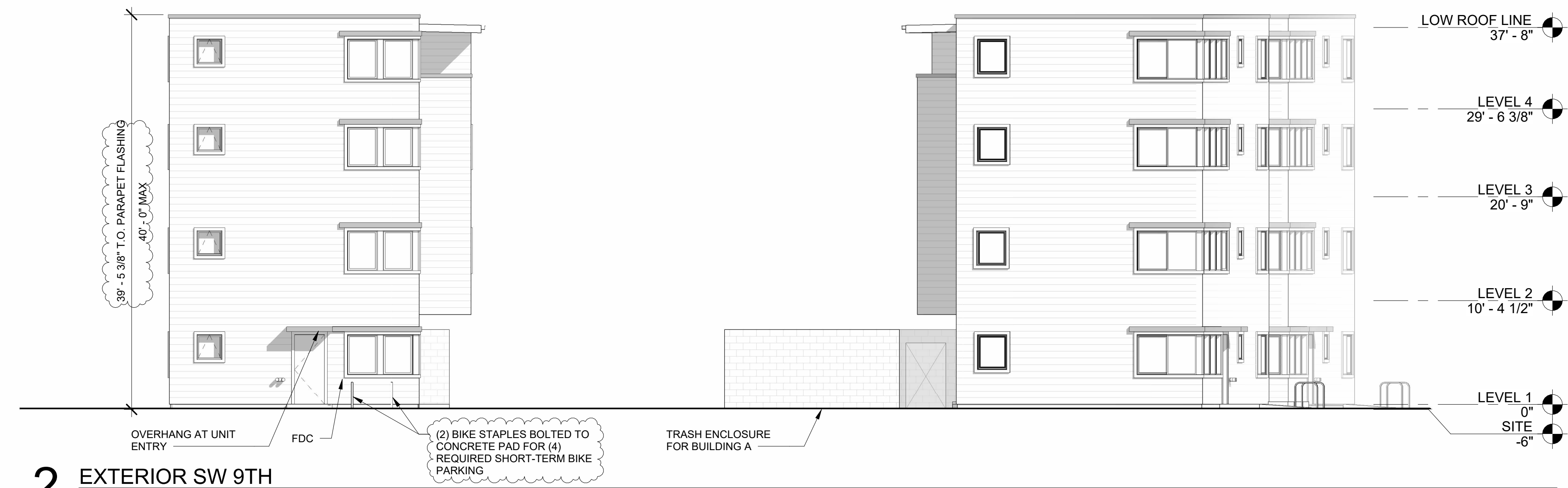
LAND USE SET

Date:	02/17/2023
Project #:	2111
Drawn by:	ACP
Checked by:	EE
Revisions:	
No. Description Date	
1 REV 1 06/26/2023	

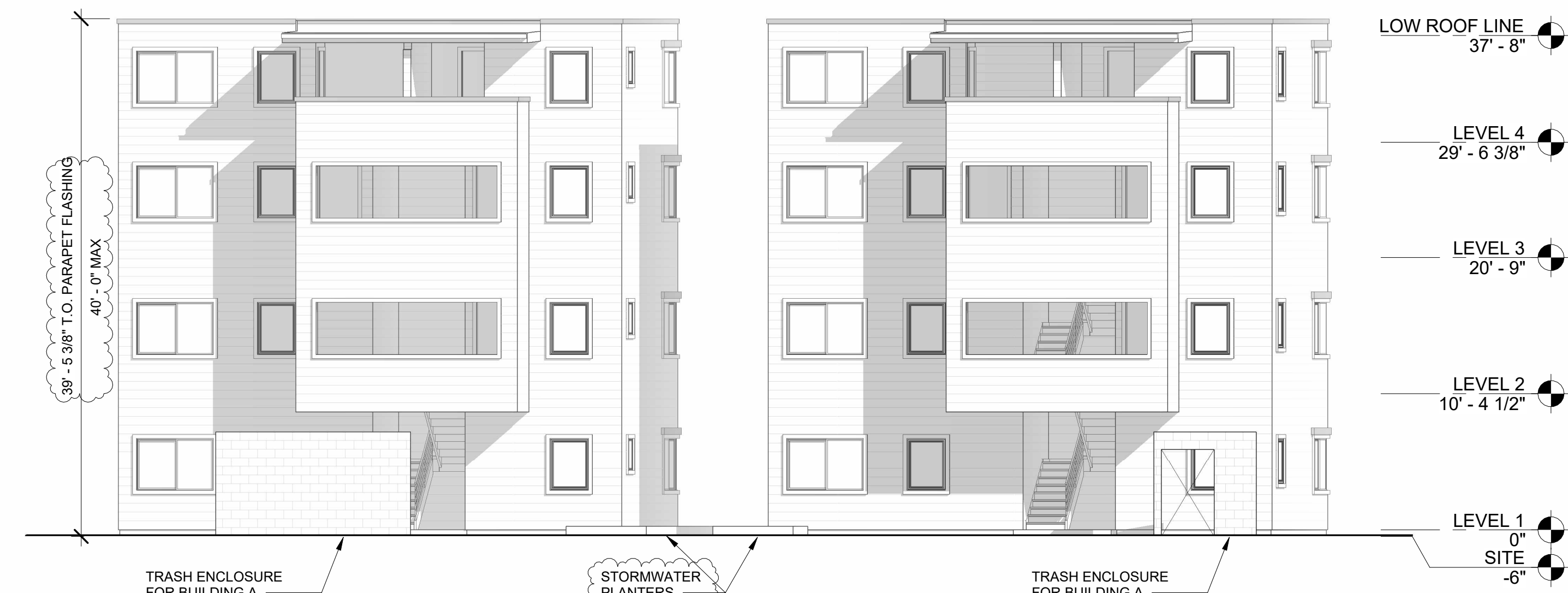
PROPOSED SITE PLAN



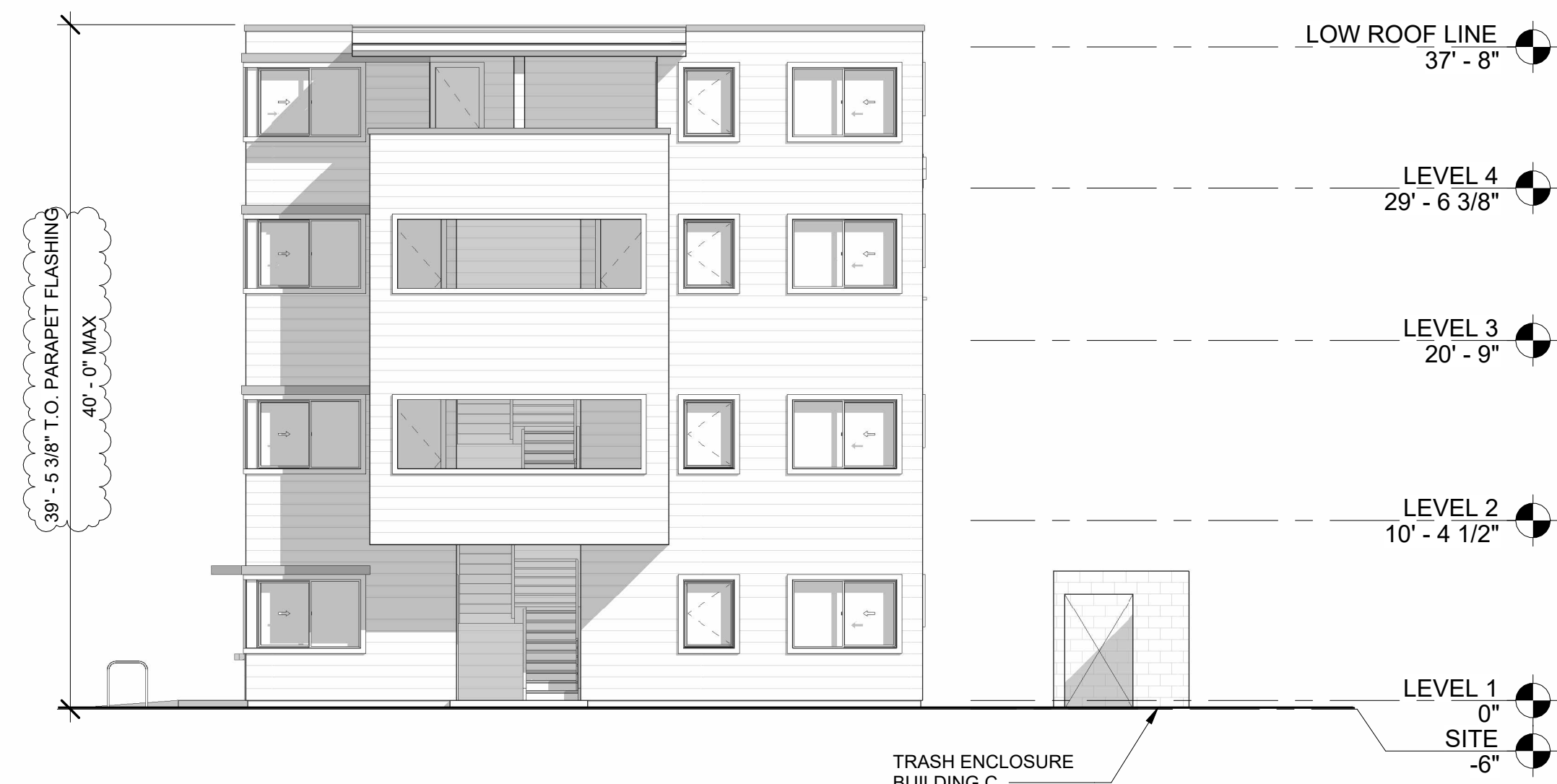
1 EXTERIOR SW HALL
1/8" = 1'-0"



2 EXTERIOR SW 9TH
1/8" = 1'-0"



3 EXTERIOR - SHARED ACCESS WEST
1/8" = 1'-0"



4 EXTERIOR - SHARED ACCESS EAST
1/8" = 1'-0"

ALLOWABLE OPENING & FIRE SEPARATION AT EXTERIOR WALLS

AREA OF EXTERIOR WALL: 975 SF
 AREA OF OPENINGS: 146 SF
 OPENINGS PERCENTAGE: 15%

NO REQUIREMENTS FOR FIRE SEPARATION

REQUIRED WINDOW AREA FOR BEAVERTON DESIGN GUIDELINES: 15%

ALLOWABLE OPENING & FIRE SEPARATION AT EXTERIOR WALLS

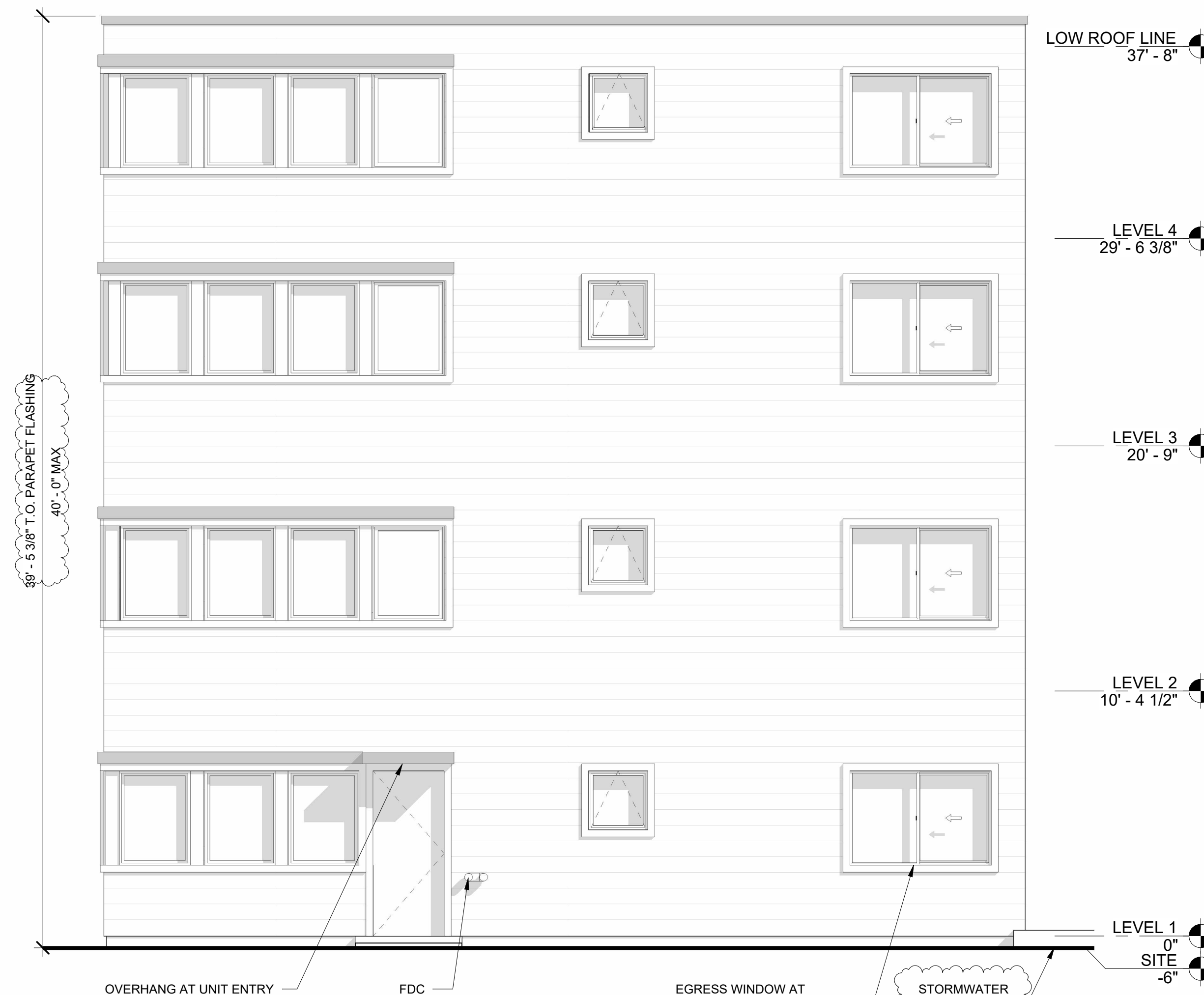
AREA OF EXTERIOR WALL: 1544 SF
 AREA OF OPENINGS: 350 SF
 OPENINGS PERCENTAGE: 23%

NO REQUIREMENTS FOR FIRE SEPARATION

REQUIRED WINDOW AREA FOR BEAVERTON DESIGN GUIDELINES: 15%



1 EXTERIOR A-B - SOUTH
 1/4" = 1'-0"



2 EXTERIOR A-B - EAST
 1/4" = 1'-0"

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PRELIMINARY NOT FOR CONSTRUCTION

BEAVERTON 9TH & HALL
 5293 SW HALL BLVD & 12455 SW 9TH AVE
 BEAVERTON, OR 97005

LAND USE SET

Date: 02/17/2023
 Project #: 2111
 Drawn by: ACP
 Checked by: EE

Revisions:
 No. Description Date
 1 REV 1 06/26/2023

BUILDING A-B ELEVATIONS

**ALLOWABLE OPENING &
FIRE SEPARATION AT EXTERIOR WALLS**

AREA OF EXTERIOR WALL: 975 SF
 AREA OF OPENINGS: 0 SF
 OPENINGS PERCENTAGE: 0%

NO REQUIREMENTS FOR FIRE SEPARATION

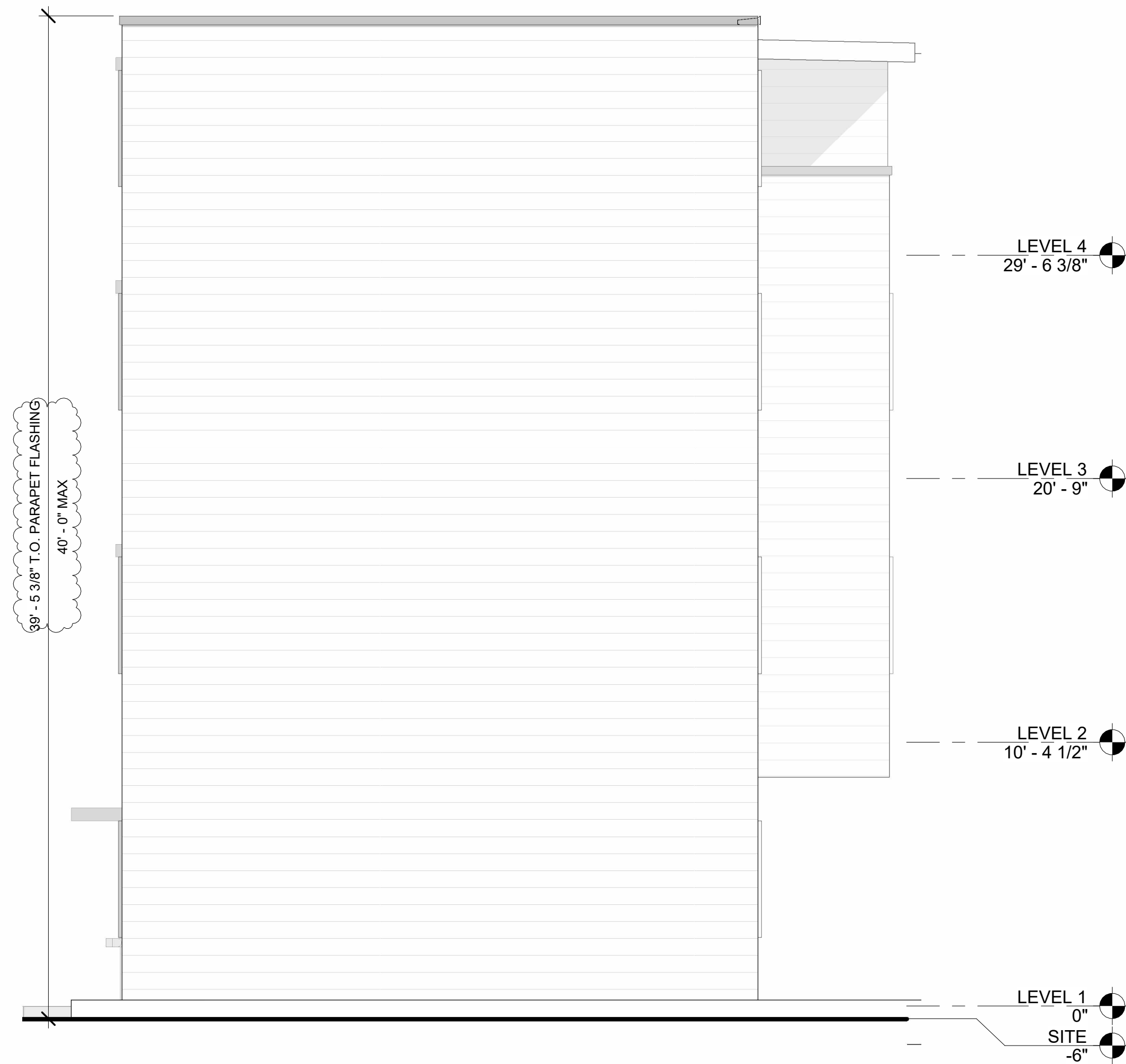
NO REQUIREMENTS WINDOW AREA FOR BEAVERTON DESIGN GUIDELINES

**ALLOWABLE OPENING &
FIRE SEPARATION AT EXTERIOR WALLS**

AREA OF EXTERIOR WALL: 1545 SF
 AREA OF OPENINGS: 414 SF
 OPENINGS PERCENTAGE: 26%

NO REQUIREMENTS FOR FIRE SEPARATION

NO REQUIREMENTS WINDOW AREA FOR BEAVERTON DESIGN GUIDELINES



1 EXTERIOR A-B - NORTH
 1/4" = 1'-0"

2 EXTERIOR A-B - WEST
 1/4" = 1'-0"

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PRELIMINARY NOT FOR CONSTRUCTION

**BEAVERTON
9TH & HALL**
 5293 SW HALL BLVD & 12455 SW 9TH AVE
 BEAVERTON, OR 97005

LAND USE SET

Date: 02/17/2023
 Project #: 2111
 Drawn by: ACP
 Checked by: EE

Revisions:
 No. Description Date
 1 REV 1 06/26/2023

**BUILDING A-B
ELEVATIONS**

ALLOWABLE OPENING & FIRE SEPARATION AT EXTERIOR WALLS

AREA OF EXTERIOR WALL: 975 SF
 AREA OF OPENINGS: 150 SF
 OPENINGS PERCENTAGE: 15%

NO REQUIREMENTS FOR FIRE SEPARATION

REQUIRED WINDOW AREA FOR BEAVERTON DESIGN GUIDELINES: 15%

ALLOWABLE OPENING & FIRE SEPARATION AT EXTERIOR WALLS

AREA OF EXTERIOR WALL: 975 SF
 AREA OF OPENINGS: 0 SF
 OPENINGS PERCENTAGE: 0%

NO REQUIREMENTS FOR FIRE SEPARATION

NO REQUIREMENTS WINDOW AREA FOR BEAVERTON DESIGN GUIDELINES



1 EXTERIOR C - SOUTH
 1/4" = 1'-0"

2 EXTERIOR C - EAST
 1/4" = 1'-0"

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PRELIMINARY NOT FOR CONSTRUCTION

BEAVERTON 9TH & HALL

5293 SW HALL BLVD & 12455 SW 9TH AVE
 BEAVERTON, OR 97005

LAND USE SET

Date: 02/17/2023
 Project #: 2111
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Revisions:
 No. Description Date
 1 REV 1 06/26/2023

BUILDING C ELEVATIONS

**ALLOWABLE OPENING &
FIRE SEPARATION AT EXTERIOR WALLS**

AREA OF EXTERIOR WALL: 975 SF
 AREA OF OPENINGS: 50 SF
 OPENINGS PERCENTAGE: 5%

NO REQUIREMENTS FOR FIRE SEPARATION

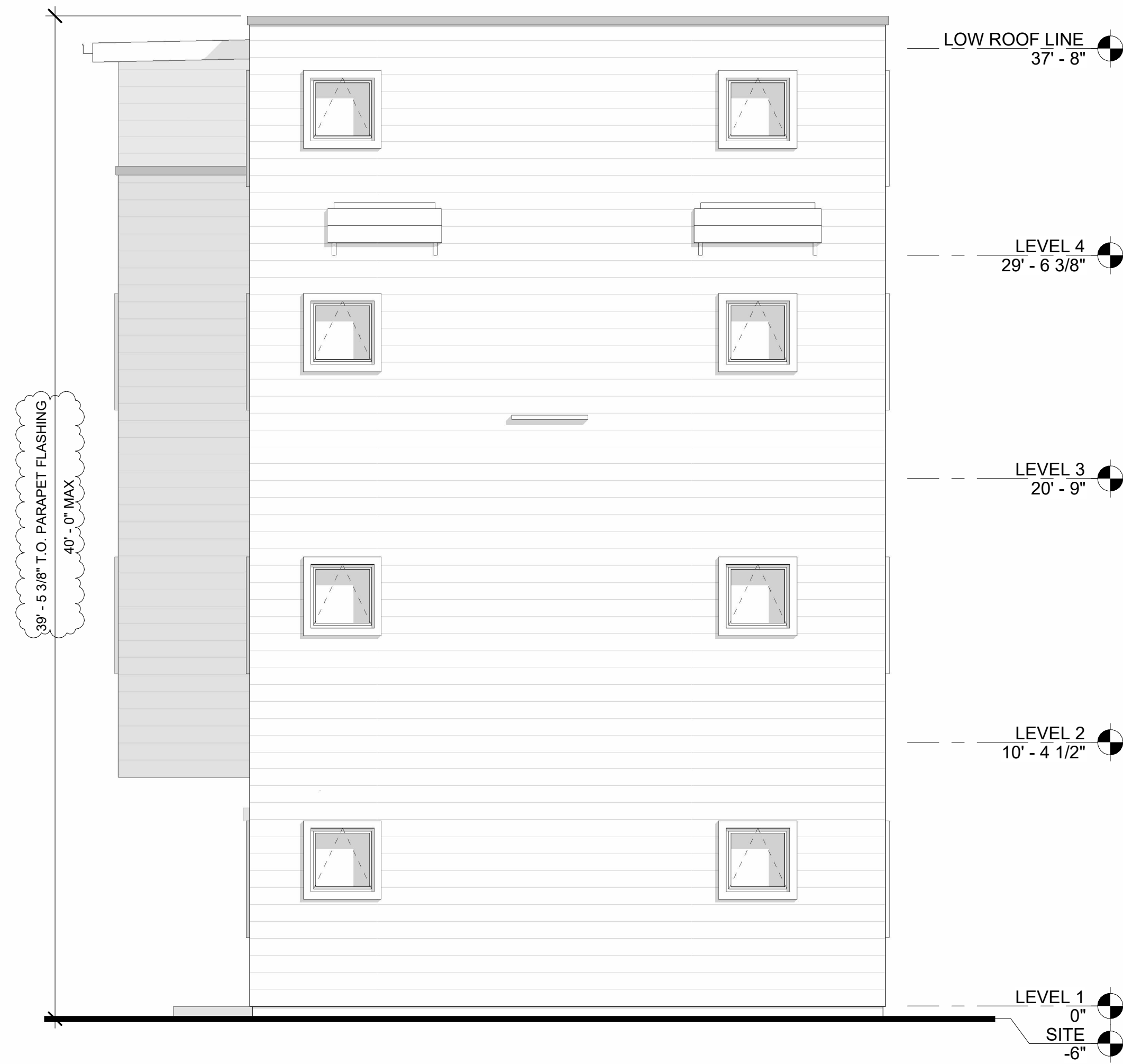
NO REQUIREMENTS WINDOW AREA FOR BEAVERTON DESIGN GUIDELINES

**ALLOWABLE OPENING &
FIRE SEPARATION AT EXTERIOR WALLS**

AREA OF EXTERIOR WALL: 1540 SF
 AREA OF OPENINGS: 194 SF
 OPENINGS PERCENTAGE: 13%

ALLOWABLE AREA PERCENTAGE FOR UNPROTECTED, SPRINKLERED WITH FIRE SEPARATION OF 5 FT TO 10 FT: 25%

NO REQUIREMENTS WINDOW AREA FOR BEAVERTON DESIGN GUIDELINES



1 EXTERIOR C - NORTH
 1/4" = 1'-0"

2 EXTERIOR C - WEST
 1/4" = 1'-0"

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PRELIMINARY NOT FOR CONSTRUCTION

**BEAVERTON
9TH & HALL**
 5293 SW HALL BLVD & 12455 SW 9TH AVE
 BEAVERTON, OR 97005

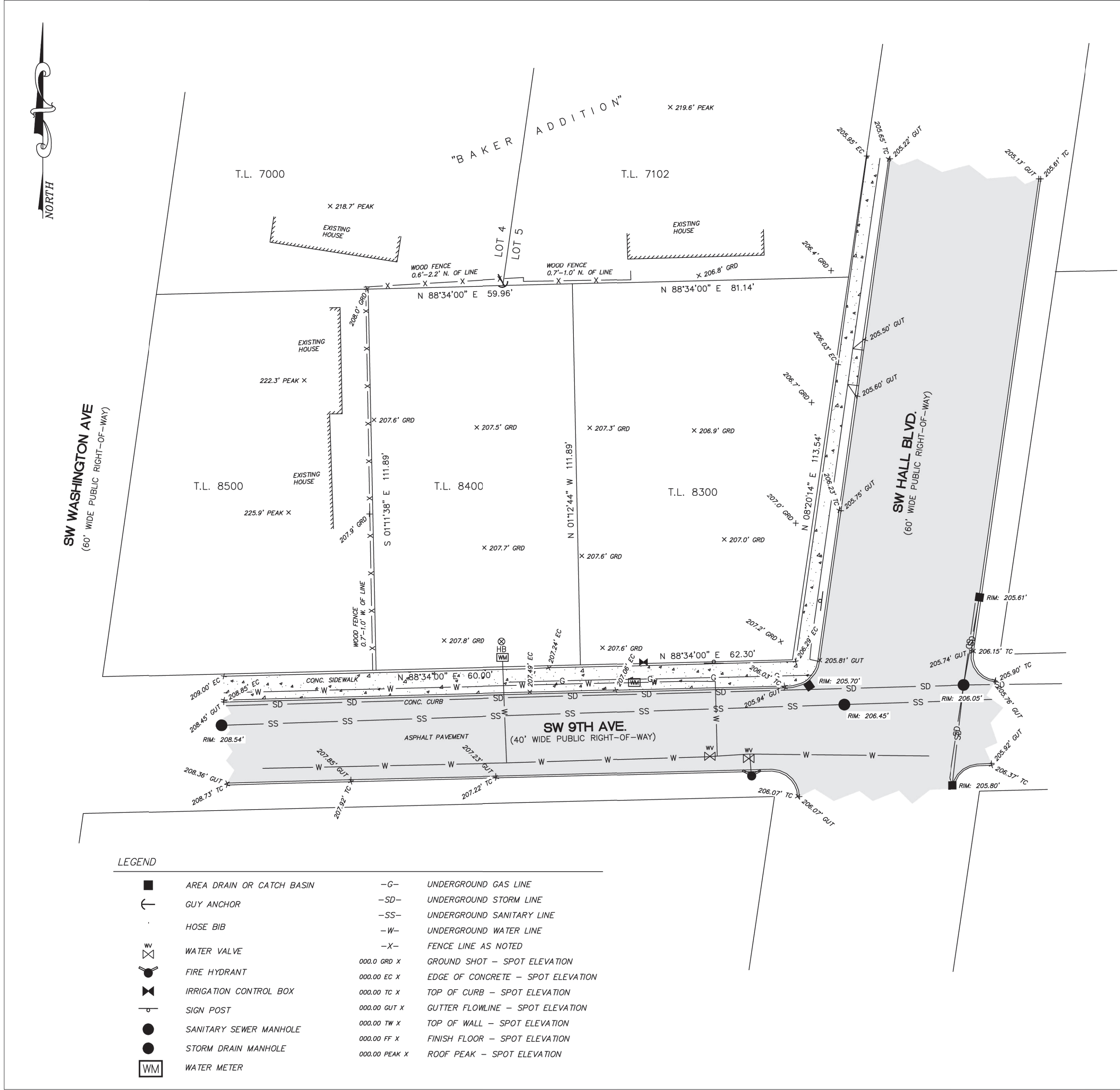
LAND USE SET

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 No. Description Date
 1 REV 1 06/26/2023

**BUILDING C
ELEVATIONS**

EXISTING CONDITIONS INFORMATION
EXISTING CONDITIONS SURVEY PROVIDED BY ANDY PARIS AND ASSOCIATES INC.



SITE SURVEY
FOR: FARZAD MORADIAN
IN THE SW 1/4 OF SECTION 15
T.1S, R.1W, W.M.
CITY OF BEAVERTON
WASHINGTON COUNTY, OREGON
TAX MAP 1S 1 15CB
MARCH 3, 2022

- NOTES:**
- ELEVATIONS ARE BASED ON WASHINGTON COUNTY BENCHMARK NO. 1934, HAVING AN ELEVATION OF 188.914 FEET.
 - THE BOUNDARIES AS SHOWN ON THIS MAP ARE BASED ON FOUND MONUMENTS, AND RECORD SURVEY AND DEED INFORMATION. THIS MAP DOES NOT REPRESENT A SURVEY TO BE RECORDED, BUT WAS DONE FOR SITE/TOPO INFORMATION ONLY.
 - THIS SURVEY IS MADE FOR THE ORIGINAL PURCHASER OF THE SURVEY ONLY. ANDY PARIS & ASSOCIATES, INC. ASSUMES NO LIABILITY FOR INFORMATION SHOWN HEREON TO ANY OTHER INSTITUTIONS OR SUBSEQUENT PURCHASERS OF THE PROPERTY.
 - SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
 - THE LOCATION AND OR EXISTENCE OF UTILITY SERVICE LINES AS SHOWN ON THIS MAP ARE BASED ON FIELD OBSERVATION ONLY. THERE MAY EXIST ADDITIONAL SERVICE LINES NOT SHOWN ON THIS SURVEY.
 - SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. THERE MAY EXIST EASEMENTS, CONDITIONS, OR RESTRICTIONS THAT COULD AFFECT THE TITLE OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE IN THIS SURVEY TO SHOW SUCH MATTERS THAT MAY AFFECT TITLE.

LEGEND

■	AREA DRAIN OR CATCH BASIN	-G-	UNDERGROUND GAS LINE
⌋	GUY ANCHOR	-SD-	UNDERGROUND STORM LINE
•	HOSE BIB	-SS-	UNDERGROUND SANITARY LINE
WV	WATER VALVE	-W-	UNDERGROUND WATER LINE
⊗	FIRE HYDRANT	-X-	FENCE LINE AS NOTED
⊕	IRRIGATION CONTROL BOX	000.0 GRD X	GROUND SHOT - SPOT ELEVATION
⊖	SIGN POST	000.0 EC X	EDGE OF CONCRETE - SPOT ELEVATION
●	SANITARY SEWER MANHOLE	000.0 TC X	TOP OF CURB - SPOT ELEVATION
●	STORM DRAIN MANHOLE	000.0 GUT X	GUTTER FLOWLINE - SPOT ELEVATION
WM	WATER METER	000.0 TW X	TOP OF WALL - SPOT ELEVATION
		000.0 FF X	FINISH FLOOR - SPOT ELEVATION
		000.0 PEAK X	ROOF PEAK - SPOT ELEVATION

GRAPHIC SCALE
20 0 10 20
(IN FEET)
1 inch = 20 ft.

ANDY PARIS AND ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
16057 BOONES FERRY ROAD
LAKE OSWEGO, OREGON 97035
PH: 503-636-3341
www.andyparis.com

PROJECT: 22026
DRAWING: 22026SP1.DWG
DRAFTED: AH 3/3/2022

1 EXISTING CONDITIONS

Scale: 1"=20'



WCL ENGINEERING, LLC
3120 NORTHRIDGE WAY
EUGENE, OREGON 97408
541.954.3691

CONVERGENCE ARCHITECTURE
7302 N RICHMOND AVE
PORTLAND, OR 97203
503-308-1028

9TH & HALL QUADPLEXES

CONVERGENCE ARCHITECTURE

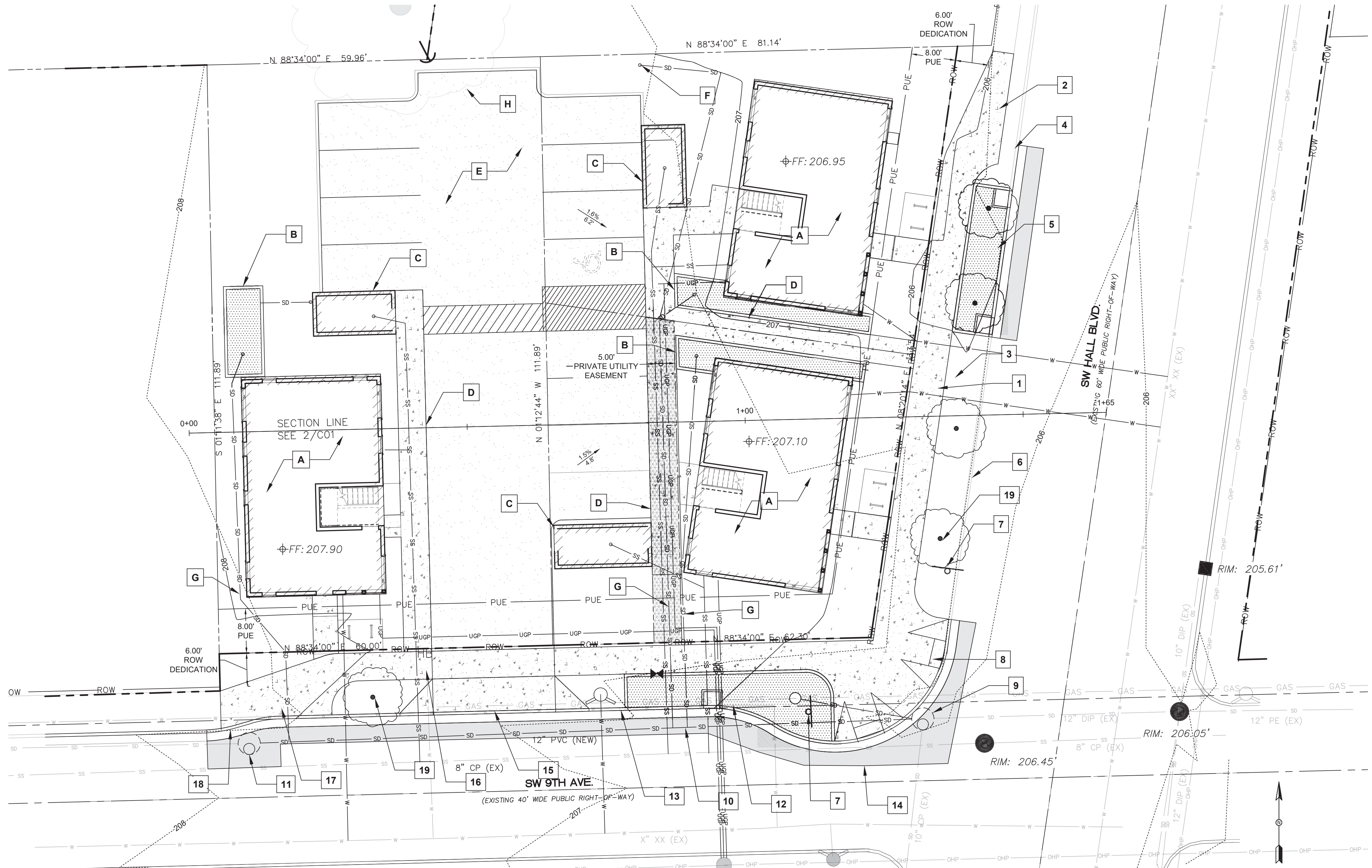
5395 SW HALL BLVD &
12455 SW 9TH AVE

Issue date: 05.30.2023
Issue description: LAND USE DOCUMENTS

LAND USE DOCUMENTS
MAY 30 2023

SCALE: 1"=20'

EXISTING CONDITIONS



- LEGEND:**
- POROUS ASPHALT PAVEMENT PER CWS 4.09.15
 - CONCRETE PAVEMENT, SEE ARCHITECTURAL DRAWINGS
 - BUILDING, SEE ARCHITECTURAL DRAWINGS
 - STORMWATER PLANTER, SEE NOTES
 - AC PAVEMENT REPAIRS PER COB STANDARDS
 - PRIVATE UTILITY EASEMENT IN LOT 1 FOR BENEFIT OF LOT 2

STORM SEWER INFORMATION

JURISTCTION: CITY OF BEAVERTON/CLEAN WASTER SERVICES

IMPERVIOUS AREA
 TOTAL NEW/RECONSTRUCTED IMPERVIOUS AREA: 6,834.5 SQ FT
 LOT 1: 1,572.5 SQ FT
 LOT 2: 1,451.5 SQ FT
 LOT 3: 1,522.5 SQ FT
 SW 9TH: 1,489.0 SQ FT
 SW HALL: 799.0 SQ FT

WATER QUANTITY CONTROL
 CONVEYANCE SIZED FOR 100-YEAR STORM. OVERFLOW TO PUBLIC STREET VIA DRAINAGE WEEPHOLE.

HYDROMODIFICATION
 CWS HYDROMODIFICATION CATEGORY: CATEGORY 1

HYDROMODIFICATION STRATEGY:
 FEE-IN-LIEU

WATER QUALITY TREATMENT
 PRIVATE DEVELOPMENT: PRIVATE VEGETATED SWM FACILITY (FLOW THROUGH PLANTERS). SEE PLAN FOR SIZES.

PUBLIC DEVELOPMENT: STREET SIDE PLANTER W/O PARKING. SEE PLAN FOR SIZES/DETAILS.

GRADING INFORMATION
 SURFACE TO SURFACE VOLUMES
 TOTAL CUT: 33 CY
 TOTAL FILL: 80 CY
 NET: 47 CY (FILL)

SEE LANDSCAPE PLAN FOR NON-STORMWATER FACILITY PLANTING.

SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN INFORMATION

SEE UTILITY PLAN FOR FULL UTILITY INFORMATION



WCL ENGINEERING, LLC
 3120 NORTH RIDGE WAY
 EUGENE, OREGON 97408
 541.954.3691

CONVERGENCE ARCHITECTURE
 7302 N RICHMOND AVE
 PORTLAND, OR 97203
 503-308-1028

9TH & HALL QUADPLEXES

CONVERGENCE ARCHITECTURE

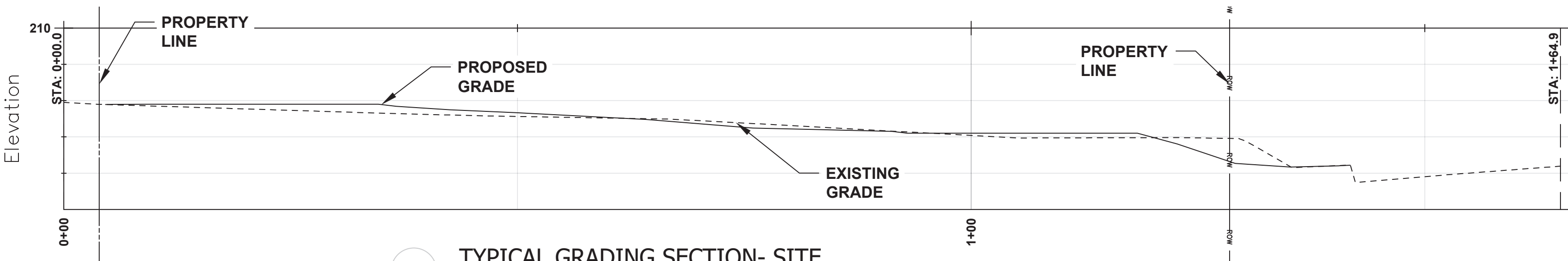
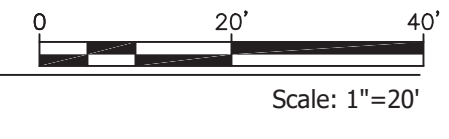
5395 SW HALL BLVD & 12455 SW 9TH AVE
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LAND USE DOCUMENTS
 MAY 30 2023

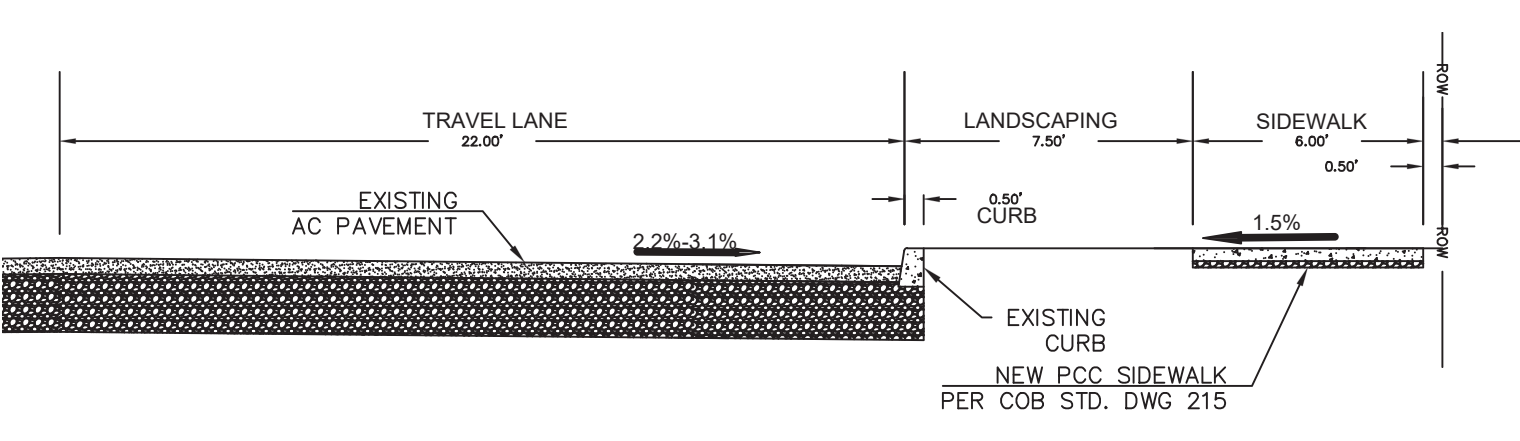
SCALE: 1"=10'

GRADING AND DRAINAGE PLAN
 SITE PLAN

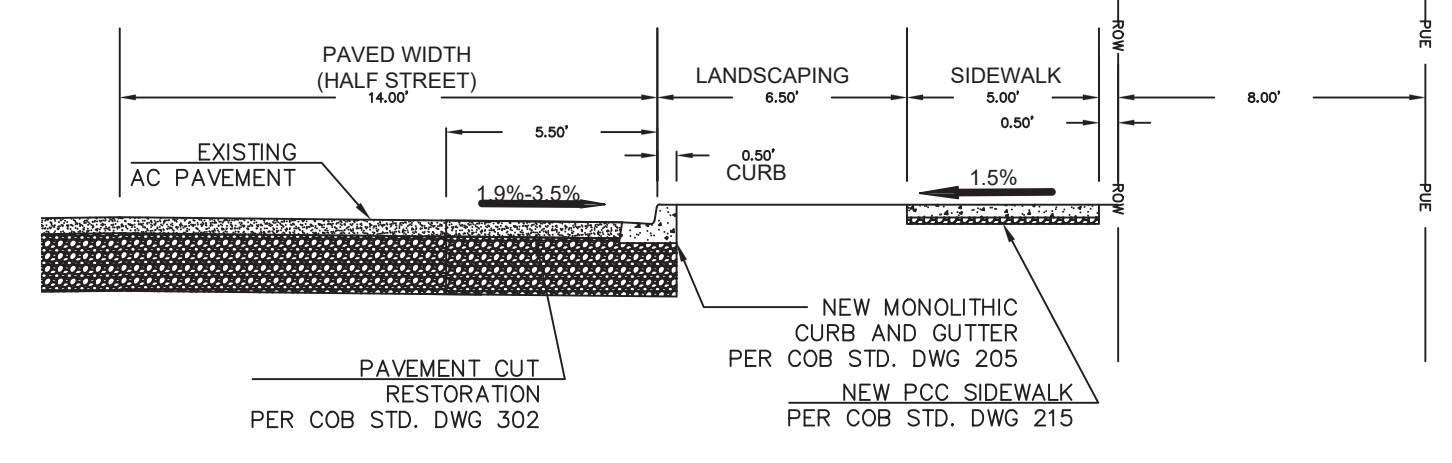
1 GRADING AND DRAINAGE PLAN



2 TYPICAL GRADING SECTION- SITE
 Scale: H:1"=10' V:1"=5'



3 SW HALL BLVD- TYPICAL HALF-STREET SECTION
 Scale: 1"=5'



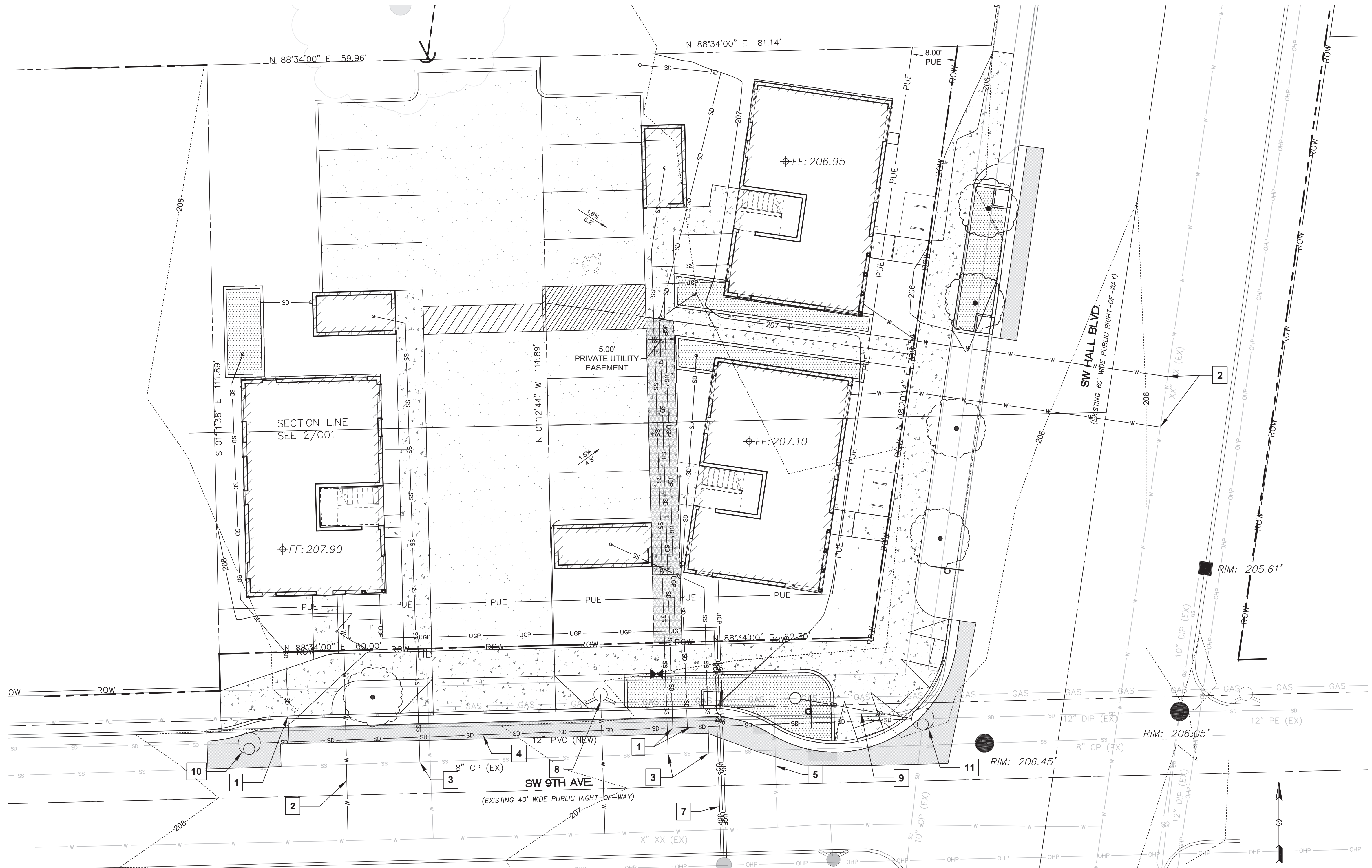
4 SW 9TH STREET- TYPICAL HALF-STREET SECTION
 Scale: 1"=5'

SHEET NOTES-- PRIVATE IMPROVEMENTS

- A. NEW 987.5 SQUARE FOOT QUADPLEX W/ DOWNSPOUTS. CONNECT DOWNSPOUTS TO PLANTERS PER CWS DRAWING NO. 730
- B. NEW FLOW THROUGH PLANTERS W/ IMPERMEABLE LINER PER CWS DRAWING NO. 730.
 B.A. LOT 1 PLANTER AREA: 101 SQ FT
 B.B. LOT 2 PLANTER AREA: 114 SQ FT
 B.C. LOT 3 PLANTER AREA: 94 SQ FT
- C. NEW TRASH ENCLOSURES, TOTAL OF 369 SQUARE FEET. DOWNSPOUTS TO DISCHARGE DIRECTLY ON AC PAVEMENT. GRADE PAVEMENT TO PLANTERS.
 C.A. LOT 1 ENCLOSURE: 137 SQ FT
 C.B. LOT 2 ENCLOSURE: 116 SQ FT
 C.C. LOT 3 ENCLOSURE: 116 SQ FT
 C.C.A. CONNECT LOT 3 TRASH ENCLOSURE DOWNSPOUT TO UNDERGROUND STORM DRAIN LINE, DAYLIGHT IN PLANTER.
- D. NEW CONCRETE WALKWAYS, TOTAL OF 1215 SQUARE FEET.
 D.A. LOT 1 CONCRETE: 448 SQ FT
 D.B. LOT 2 CONCRETE: 348 SQ FT
 D.C. LOT 3 CONCRETE: 419 SQ FT
- E. NEW PERVIOUS AC PAVEMENT PARKING AREA, TOTAL OF TOTAL OF 4282 SQUARE FEET.
 E.A. LOT 1 AC PAVEMENT: 667 SQ FT
 E.B. LOT 2 AC PAVEMENT: 688 SQ FT
 E.C. LOT 3 AC PAVEMENT: 2,868 SQ FT
- F. NEW 6" AREA DRAIN, CONNECT TO STORM SEWER SYSTEM ON-SITE.
- G. NEW 4" STORM SEWER LINE, CONNECT TO PUBLIC STORM DRAIN LINE W/ STORM SEWER LATERAL PER CWS STANDARD DETAIL 520.
- H. PROTECT EXISTING CEDAR TREE ROOT ZONE
 H.A. CEDAR TREE ON ADJACENT PROPERTY

SHEET NOTES-- PUBLIC IMPROVEMENTS

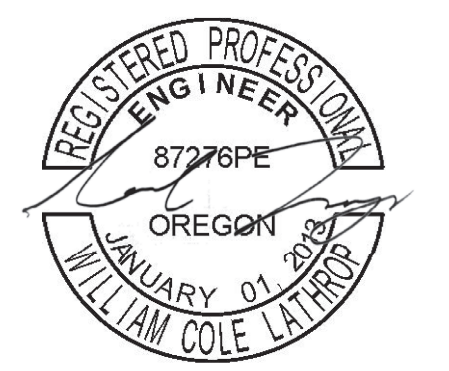
1. NEW 6 FOOT SIDEWALK AND 7.5 FT LANDSCAPE STRIP PER COB STANDARD DWG 215 ALONG SW HALL BLVD.
2. TRANSITION FROM NEW SIDEWALK TO EXISTING, USE MODIFIED COB STANDARD DWG 217 AT NORTHERN PROPERTY LINE ALONG SW HALL BLVD.
3. EXISTING SIDEWALK ALONG SW HALL BLVD TO BE REMOVED.
4. EXISTING DRIVEWAY ACCESS TO BE REMOVED @ SW HALL BLVD.
 4.1. RECONSTRUCT CURB AND GUTTER PER COB STANDARD DWG 205. MATCH EXISTING GUTTER FLOW ELEVATIONS.
5. NEW 157 SQ FT UNLINED STREET SIDE PLANTER PER COB STANDARD DDWG 370.
 5.1. MODIFY STANDARD DRAWING TO REPLACE BEEHIVE OVERFLOW W/ MODIFIED CG-30 @ LOW POINT OF GUTTER FLOW FOR OVERFLOW.
 5.2. PROVIDE THICKENED CURB AND GUTTER PER COB EDM FIGURE 510.7
6. EXISTING CURB ALONG SW HALL BLVD TO BE PROTECTED.
7. EXISTING SIGNS TO BE PROTECTED/SALVAGED AND REINSTALLED AS REQ.
8. NEW CURB RAMPS W/ CURB EXTENSION PER COB STANDARD DWG 220.
9. NEW MANHOLE PER COB STANDARD DWG 330.
 9.1. PROTECT/CONNECT EXISTING 12" DIP, I.E. OUT
 9.2. PROTECT/CONNECT EXISTING 8" IN
 9.3. INSTALL NEW 12" PVC IN
 9.4. INSTALL NEW 10" PVC IN
10. REPLACE EXISTING 8" MAIN (IN) ALONG SW 9TH W/ NEW 12" MAIN. SEE UTILITY PLAN FOR MORE INFORMATION.
11. NEW MANHOLE PER COB STANDARD DWG 330.
 11.1. PROTECT/CONNECT EXISTING 8" CP IN.
 11.2. INSTALL NEW 12" PVC OUT.
12. NEW 268 SQ FT LINED STREET SIDE PLANTER PER COB STANDARD DWG 370
 12.1. LOCATE CG-30 @ GUTTER FLOW LOW POINT.
 12.2. PROVIDE THICKENED CURB AND GUTTER PER COB EDM FIGURE 510.7
 12.3. INSTALL NEW 10" PVC OUT (TO NEW MANHOLE)
13. RELOCATE EXISTING CUB W/ NEW CURB AND GUTTER PER COB STANDARD DWG 240.
 13.1. FACE OF CURB TO BE 14' OFFSET FROM SW 9TH ROADWAY CENTERLINE PER COB DWG 200-4, L2.
14. REPAIR ASPHALT PAVEMENT PER COB STANDARD DWG 302.
15. NEW 22' WIDE STANDARD RESIDENTIAL DRIVEWAY PER COB STANDARD DWG 211
16. NEW 5 FT WIDE SIDEWALK AND 6.5 FT LANDSCAPE STRIP PER COB STANDARD DWG 215 ALONG SW 9TH.
17. TRANSITION FROM NEW SIDEWALK TO EXISTING CURB-TIGHT SIDEWALK PER COB STANDARD DWG 217.
18. TRANSITION NEW CURB ALIGNMENT TO EXISTING W/ DOUBLE RADII CURB (20 FT RADIUS)
19. NEW STREET TREES PER COB STANDARD DWG 240.
 19.1. 1X STREET TREES ALONG SW 9TH AVE
 19.2. 4X STREET TREES ALONG SW HALL BLVD



- LEGEND:**
- POROUS ASPHALT PAVEMENT PER CWS 4.09.15
 - CONCRETE PAVEMENT, SEE ARCHITECTURAL DRAWINGS
 - BUILDING, SEE ARCHITECTURAL DRAWINGS
 - STORMWATER PLANTER, SEE NOTES
 - AC PAVEMENT REPAIRS PER COB STANDARDS
 - PRIVATE UTILITY EASEMENT IN LOT 1 FOR BENEFIT OF LOT 2

UNLESS OTHERWISE NOTED, PROTECT ALL EXISTING UTILITIES
 COORDINATE W/ NWN FOR NATURAL GAS REQUIREMENTS. IF NATURAL GAS TO BE SUPPLIED, UTILIZE PRIVATE UTILITY EASEMENT FOR LOT #2.

SEE LANDSCAPE PLAN FOR PLANTING.
 SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN INFORMATION
 SEE GRADING AND DRAINAGE PLAN FOR GRADING AND STORM SEWER INFORMATION



RENEWS: 12/31/2024

1 UTILITY PLAN

SHEET NOTES- PUBLIC IMPROVEMENTS

1. NEW 4" STORM SEWER LATERAL PER CWS STANDARD DETAIL 520.
 - 1.1. INSTALL STANDARD CLEANOUT AT PROPERTY LINE PER CWS STANDARD DRAWING 500.
 - 1.2. CONNECT TO PUBLIC STORM MAIN W/ INSERTA TEE PER CWS DRAWING 530.
 - 1.3. SEE GRADING & DRAINAGE PLAN FOR SITE REQUIREMENTS.
2. NEW 1" WATER SERVICE CONNECTION PER CITY OF BEAVERTON STANDARD DETAIL 660-5.
 - 2.1. METER BOX TO BE LOCATED PER CITY OF BEAVERTON STANDARD DETAIL 660-3
 - 2.2. OWNER TO CONNECT TO METER BOX PER STANDARD DETAIL 660-5
 - 2.3. OWNER TO PROVIDE SUB-METERING FOR QUADPLEX.
 - 2.4. OWNER TO PROVIDE BACKFLOW ASSEMBLY AS REQUIRED FOR SITE IRRIGATION
3. NEW 6" SEWER LATERAL PER CWS STANDARD DRAWING 520
 - 3.1. INSTALL STANDARD CLEANOUT AT PROPERTY LINE PER CSW STANDARD DRAWING 500.
 - 3.2. LOT 2 SEWER LATERAL TO BE INSTALLED IN 5'-0" PRIVATE UTILITY EASEMENT THROUGH LOT 1.
 - 3.3. TAP INTO EXISTING SANITARY MAIN W/ INSERTA TEE PER CWS DRAINING 530.
4. REMOVE APPROX 209 FT OF EXISTING 8" CONCRETE STORM SEWER LINE, REPLACE W/ NEW 12" SDR 35 PVC STORM SEWER PIPE. SEE GRADING & DRAINAGE PLAN FOR MORE INFORMATION.
5. CONFIRM ABANDONED WATER MAIN (PROTECT). ABANDON EXISTING WATER METERS PER CITY OF BEAVERTON REQUIREMENTS.
6. FLOOR AREA DRAINS FOR TRASH ENCLOSURE, CONNECT TO SANITARY SEWER SYSTEM.
7. NEW UNDERGROUND ELECTRIC SERVICE, COORDINATE W/ PGE.
 - 7.1. INSTALL LOT 2 ELECTRIC SERVICE IN PRIVATE UTILITY EASEMENT THROUGH LOT 1
 - 7.2. INSTALL LOT 3 ELECTRIC SERVICE IN GUE AS REQ.
8. NEW HYDRANT PER COB STANDARD DWG 650-2
9. NEW 10" SDR35 PVC STORM SEWER, SEE GRADING AND DRAINAGE PLANS FOR MORE INFORMATION.
10. NEW MANHOLE PER COB STANDARD DWG 330.
 - 10.1. PROTECT/CONNECT EXISTING 8" CP IN.
 - 10.2. INSTALL NEW 12" PVC OUT.
11. NEW MANHOLE PER COB STANDARD DWG 330.
 - 11.1. PROTECT/CONNECT EXISTING 12" DIP, I.E. OUT
 - 11.2. PROTECT/CONNECT EXISTING 10" IN
 - 11.3. INSTALL NEW 12" PVC IN
 - 11.4. INSTALL NEW 10" PVC IN

WCL ENGINEERING, LLC
 3120 NORTH RIDGE WAY
 EUGENE, OREGON 97408
 541.954.3691

CONVERGENCE ARCHITECTURE
 7302 N RICHMOND AVE
 PORTLAND, OR 97203
 503-308-1028

9TH & HALL QUADPLEXES

CONVERGENCE ARCHITECTURE

5395 SW HALL BLVD &
 12455 SW 9TH AVE
 05.30.2023 LAND USE DOCUMENTS

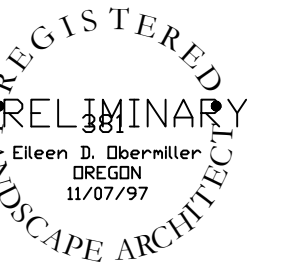
LAND USE DOCUMENTS
 MAY 30 2023

SCALE: 1"=10'

UTILITY PLAN

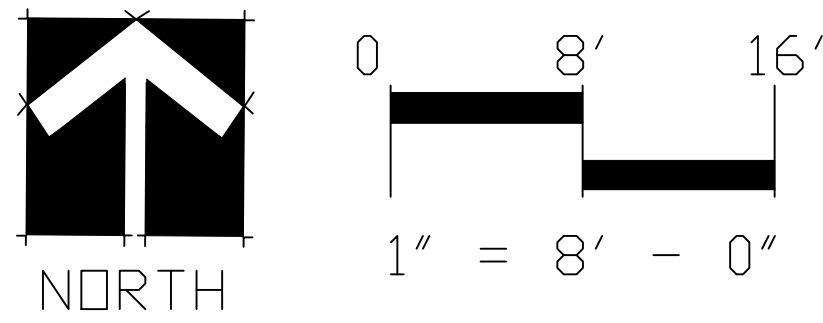
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Received
Planning Division
06/26/2023



RENEWS 11/23

IF THESE PLANS ARE NOT SIGNED, CALL THE LANDSCAPE ARCHITECT TO ASSURE YOU HAVE THE CORRECT PLANS. FAILURE TO DO SO MAY RESULT IN LIABILITY FOR FOLLOWING INCOMPLETE PLANS.



PRELIMINARY LANDSCAPE PLAN
9TH & HALL QUADS
5293 SW HALL BLVD & 12455 SW 9TH AVE
BEAVERTON, OREGON 97005

DappledEarth.com
EILEEN OBERMILLER
(541) 350-7436
P.O. Box 97
Powell Butte, OR 97753



DRAWING DATE:
JUNE 26, 2023

SHEET L1
OF 3

IF THESE PLANS ARE NOT SIGNED, CALL THE LANDSCAPE ARCHITECT TO ASSURE YOU HAVE THE CORRECT PLANS. FAILURE TO DO SO MAY RESULT IN LIABILITY FOR FOLLOWING INCOMPLETE PLANS.

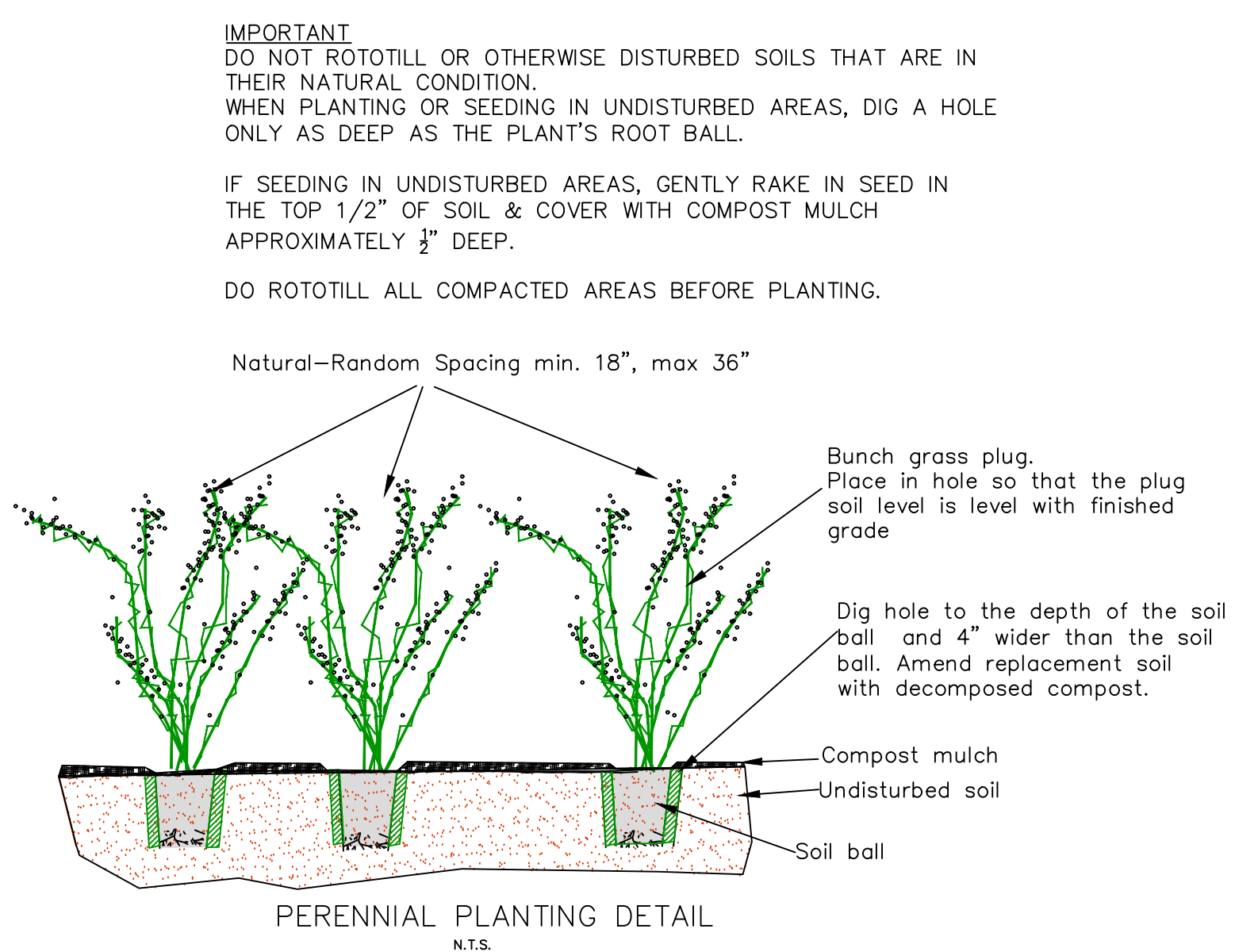
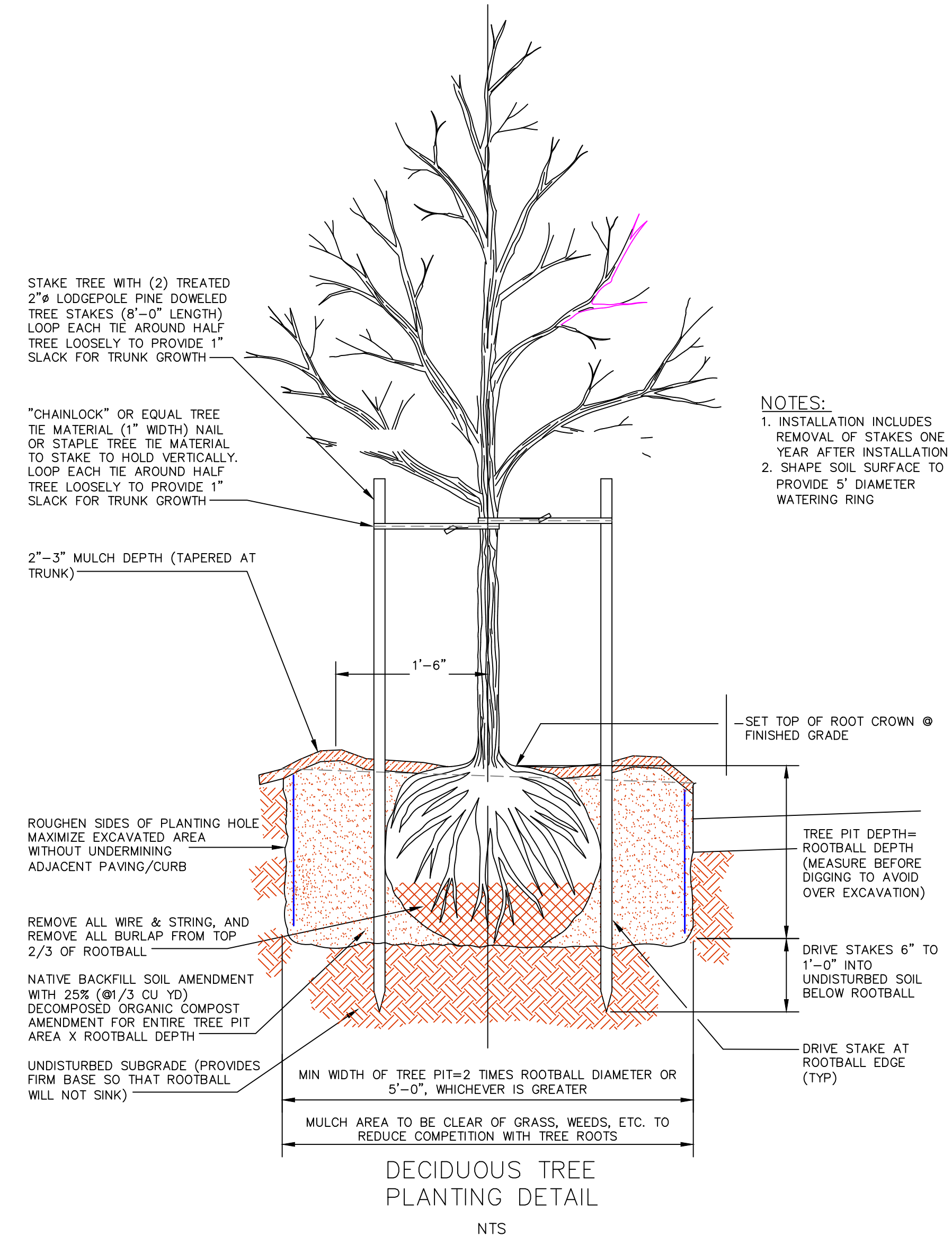
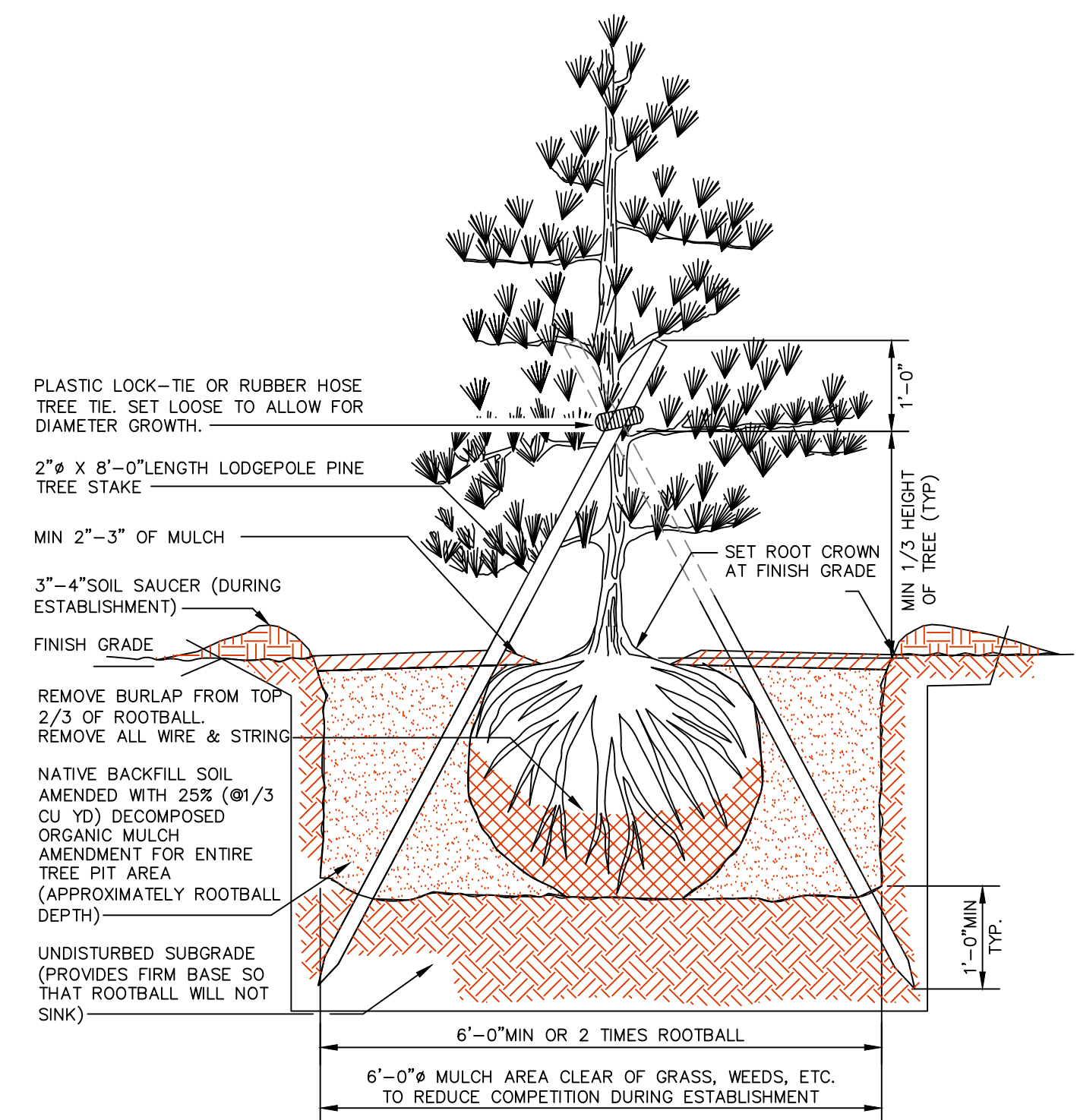
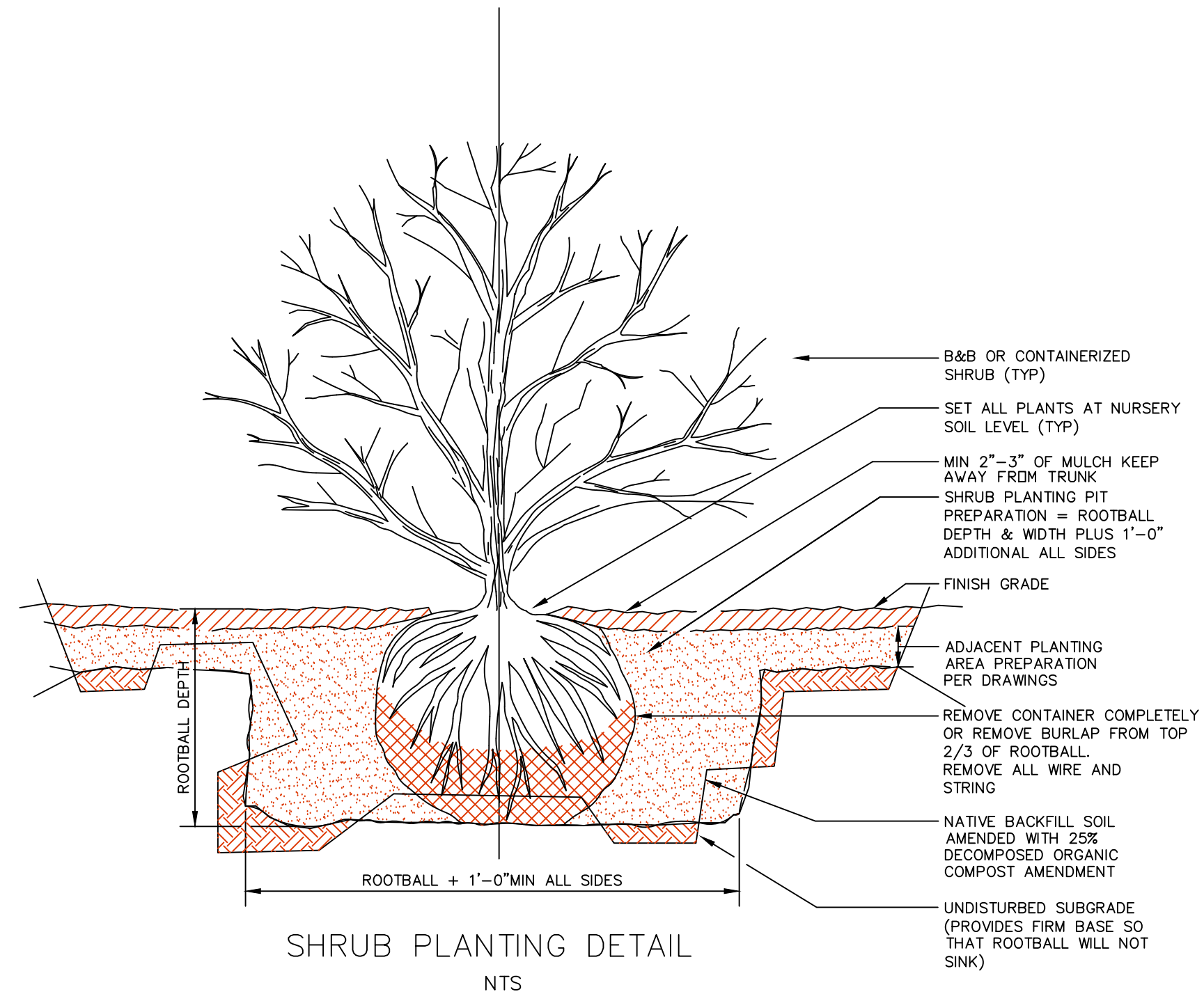
PLANT LIST & DETAILS
9TH & HALL QUADS
5293 SW HALL BLVD & 12455 SW 9TH AVE
BEAVERTON, OREGON 97005

(541) 350-7436
P.O. Box 97
Powell Butte, OR 97753
DappledEarth.com
EILEEN OBERMILLER
Powell Butte, OR 97753
dappled earth
DESIGNS TO NURTURE LIFE!

DRAWING DATE:
JUNE 26, 2023

SHEET L2
OF 3

SYMBOL	BOTANICAL NAME COMMON NAME	QTY. TO BE DETERMINED	SIZE @ PLANTING; CONTAINER	SPACING	MATURE HEIGHT X WIDTH APPROX.
	ACER RUBRUM OCTOBER GLORY OCTOBER GLORY RED MAPLE	9	1.5" CALIPER MIN. B&B	PER PLAN	40' X 35'
	KOELERUTERIA PANICULATA GOLDENRAIN TREE	2	1.5" CALIPER MIN. B&B	PER PLAN	30' X 25'
	PICEA ABIES 'CUPRESSINA' COLUMNAR NORWAY SPRUCE	3	8' TALL MIN. B&B	PER PLAN	20-30' T X 6' W
	PINUS FLEXILIS 'VANDERWOLF' VANDERWOLF OR LIMBER PINE	1	8' TALL MIN. B&B	PER PLAN	30-40' X 12'-15'
	QUERCUS ROBOR X 'NADLER' KINDRED SPIRIT OAK	3	1.5" CALIPER MIN. B&B	PER PLAN	30' X 6'
	THUJA OCCIDENTALIS 'SMARAGO' EMERALD GREEN ARBORVITAE	59	8' TALL MIN. B&B	PER PLAN	15' T X 2-4' W
	TILIA CORDATA GRENSPIRE LITTLEAF LINDEN	2	1.5" CALIPER MIN. B&B	PER PLAN	50' X 40'
	CORNUS SERICEA 'KELSEY' KELSEY'S DWARF RED-OSIER DOGWOOD	17	2 GAL.		2-2.5' TW
	CORNUS SERICEA RED-OSIER DOGWOOD	2	1 GAL./2' TALL	PER PLAN	2-2.5' TW
	DAPHNE X BURKWOODII CAROL MACKIE CAROL MACKIE DAPHNE	5	2 GAL.	PER PLAN	2-4' TW
	DAPHNE X BURKWOODII CAROL MACKIE CAROL MACKIE DAPHNE	7	2 GAL.	PER PLAN	2-4' TW
	ERICA X DARLEYENSIS 'WHITE PERFECTION' WHITE PERFECTION WINTER HEATH	22	1 GAL.	PER PLAN	18" X 30"
	HYDRANGEA MIX, HARDY TO ZONE 5 HYDRANGEA	9	3 GAL.	PER PLAN	4' X 4'
	MAGNOLIA GRANDIFLORA VAR. 'STRGRA' BABY GRAND MAGNOLIA	3	4' TALL MIN.	PER PLAN	8-10' TW
	PIERIS JAPONICA 'MOUNTAIN FIRE' MOUNTAIN FIRE PIERIS	3	3 GAL.	PER PLAN	6-10' TW
	PINUS STROBUS 'BLUE SHAG' BLUE SHAG EASTERN WHITE PINE	3	3 GAL.	PER PLAN	2-4' TW
	VIBURNUM TINUS 'LISAROSE' SHADES OF PINK LAURUSTINUS	7	3 GAL.	PER PLAN	4-5' T X 2-4' W
	VIBURNUM TRILOBUM 'COMPACTUM' COMPACT AMERICAN CRANBERRY	3	3 GAL.	PER PLAN	4-6' TW
	ARCTOSTAPHYLOS UVA-URSI KINKKINICK	6	2 GAL.	PER PLAN	1' X 6'
	NW NATIVE WILDFLOWER MIX 90% PER CLEANWATERSERVICES.ORG	490 SF			
	AGROSTIS IDAHOENSIS 10% IDAHO BENTGRASS				
	POLYSTICHUM MUNIFOLIUM SWORD FERN	10	2 GAL.	APPROX. 5' O.C.	3-6' TW
	PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS	28	1 GAL.	PER PLAN	4' X 2.5'
	3" SCREENED ASPEN GRAVEL MULCH	FIELD VERIFY SF	3-4" DEEP	PER PLAN	
	YACHT CLUB GARDEN BENCH, TREX OR EQUAL MOVEABLE BENCH, 4' & 6' LONG	TBD		PER PLAN	



Yacht Club Garden Bench
SKU: PO1617
By: Trex Outdoor
\$299.00

Features

- Comfortably contoured seating
- Built to withstand a range of climates including hot sun, snowy winters, and strong coastal winds
- Resistant to stains, corrosive substances, salt spray, and other environmental stresses
- UV protectant and color continuously throughout the HDPE material; requires no painting or waterproofing
- Marine-grade quality hardware
- UV-inhibited colors minimize fading

Weights & Dimensions

- Overall Width - Side to Side: 48"
- Overall Product Weight: 57 lb.



IMPORTANT
DO NOT ROTOTILL OR OTHERWISE DISTURBED SOILS THAT ARE IN THEIR NATURAL CONDITION. WHEN PLANTING OR SEEDING IN UNDISTURBED AREAS, DIG A HOLE ONLY AS DEEP AS THE PLANT'S ROOT BALL.

IF SEEDING IN UNDISTURBED AREAS, GENTLY RAKE IN SEED IN THE TOP 1/2" OF SOIL & COVER WITH COMPOST MULCH APPROXIMATELY 1/2" DEEP.

DO ROTOTILL ALL COMPACTED AREAS BEFORE PLANTING.

Natural-Random Spacing min. 18", max 36"



RENEWALS 11/23

IF THESE PLANS ARE NOT SIGNED, CALL THE LANDSCAPE ARCHITECT TO ASSURE YOU HAVE THE CORRECT PLANS. FAILURE TO DO SO MAY RESULT IN LIABILITY FOR FOLLOWING INCOMPLETE PLANS.

CONTRACTOR PLAN REVIEW:

CONTRACTOR IS RESPONSIBLE FOR REVIEWING THESE PLANS THOROUGHLY BEFORE BEGINNING WORK. CONTRACTOR SHALL BRING TO THE LANDSCAPE ARCHITECT'S ATTENTION ANY CONCERNS HE MAY HAVE WITH THE PLANS, PLANT SELECTION, QUANTITIES, MATERIALS OR OTHER PLAN ITEMS BEFORE BEGINNING WORK. CONTRACTOR SHALL ALSO REVIEW THE SITE AND SHALL BRING TO THE LANDSCAPE ARCHITECT'S ATTENTION ANY CONCERNS HE MAY HAVE WITH THE SITE BEFORE BEGINNING WORK.

UTILITIES:

CONTRACTOR IS RESPONSIBLE FOR CALLING THE OREGON UTILITY NOTIFICATION CENTER AT LEAST 4 BUSINESS DAYS BEFORE BEGINNING WORK. CONTACT THE CENTER AT 1-800-332-2344 OR HTTP://WWW.DIGSAFELYOREGON.COM.

PROTECTION:

CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING TREES AND PLANTS, IRRIGATION, STRUCTURES, DRAINAGE STRUCTURES, AND OTHER SITE FEATURES DURING INSTALLATION AND SHALL REPAIR ANY DAMAGES TO THE SATISFACTION OF THE OWNER.

PLANT MATERIAL:

PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND MEET STANDARDS DESCRIBED IN THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK PREPARED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANTS SHALL BE FREE OF DISEASE, INSECTS, WEEDS, EGGS, LARVAE, DEFECTS, INJURIES, OR DISFIGUREMENTS. SHOULD DISCREPANCIES OCCUR BETWEEN THE QUANTITIES ON THE PLANT LIST AND THOSE ON THE PLANS, THE PLANT QUANTITIES INDICATED ON THE PLAN SHALL GOVERN. MOREOVER, FIELD CONDITIONS MAY REQUIRE MORE OR LESS PLANTS THAN SPECIFIED.

DO NOT SHEAR PLANTS UNLESS SPECIFICALLY CALLED OUT WITH TEXT OR DETAILS.

CONTRACTOR TO FIELD VERIFY PLANT COUNT. IF PLANT COUNT IN LIST CONFLICTS WITH PLAN COUNT, PLAN COUNT ON PLANS SHALL TAKE PRECEDENCE.

OWNER RETAINS THE RIGHT TO FURTHER INSPECT TREES AND SHRUBS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIALS AT ANY TIME DURING PROGRESS OF WORK AND THROUGH WARRANTY PERIOD. REMOVE REJECTED PLANTS AND/OR MATERIALS FROM PROJECT SITE AND REPLACE WITH ACCEPTABLE MATERIALS IMMEDIATELY AND AT NO CHANGE TO THE CONTRACT PRICE.

IF CONTRACTOR CANNOT LOCATE A PLANT AT THE LISTED SIZE, THEY SHALL SELECT THE NEXT CLOSEST SIZE UP AND INFORM THE OWNER.

WEED ABATEMENT:

CONTRACTOR TO REMOVE WEEDS BY HAND OR MECHANICALLY. CONTRACTOR MAY HIRE AN OREGON LICENSED CHEMICAL APPLICATOR TO KILL WEEDS. ALL WEEDS MUST THEN BE REMOVED FROM SITE.

PLANTING:

REMOVE GRAVEL, STONE, DEBRIS AND OTHER EXTRANEIOUS MATERIALS FROM ALL PLANTING AREAS BEFORE PLACING TOPSOIL, SOIL AMENDMENT AND BEFORE PLANTING. REMOVE FROM THE SITE EXISTING SOIL AS NECESSARY TO PLACE TOPSOIL, AMENDMENTS, AND/OR COMPOST MULCH.

EXCAVATED SOIL IN THE PLANT PIT AND PLANTING/SHRUB BEDS SHALL BE CLEANED OF ROCK DEBRIS AND OTHER EXTRANEIOUS MATERIALS PRIOR TO PLANTING. FILL PLANT PIT WITH WATER AND ALLOW PERCOLATING OUT PRIOR TO PLANTING. IF PLANT PIT HOLDS WATER FOR AN EXTENDED PERIOD CONTRACTOR SHALL DIG THE PIT DEEPER UNTIL GOOD DRAINAGE IS ACHIEVED OR ADJUST PLANT LOCATION TO A BETTER DRAINED AREA. REPLACE ONE THIRD OF THE EXISTING SOIL WITH DECOMPOSED COMPOST, MIXING THOROUGHLY.

STORE MATERIALS ON SITE ONLY IN AREAS APPROVED AND IDENTIFIED BY THE OWNER. KEEP ALL STORAGE AREAS IN A NEAT, CLEAN, & SAFE. CONDITION.

REMOVE PLANT CONTAINERS, WIRE BASKETS AND TWINE COMPLETELY FROM PLANTS. REMOVE BURLAP FROM TOP AND SIDES OF ROOT BALLS. EXCESS EXCAVATION MATERIAL SHALL BE REMOVED FROM THE PROPERTY. THE MATERIAL SHALL NOT BE PLACED IN COMMON AREAS, ROAD RIGHTS-OF-WAY, OR ON OTHER LOTS.

NEWLY PLANTED PLANTS SHALL BE WATERED IMMEDIATELY AFTER PLANTING. NEW PLANTS SHALL BE PLACED ON THE IRRIGATION SYSTEM SCHEDULE WITHIN 3 DAYS OF PLANTING.

CONTRACTOR IS TO WEED SITE WEEKLY UNTIL INSTALLATION IS COMPLETE & ACCEPTED BY THE OWNER.

PLANTING ON SLOPES:

DO NOT PLANT, IRRIGATE, INSTALL IRRIGATION, OR DISTURB SLOPES 5:1 OR STEEPER. ADJUST PLANT COUNT & IRRIGATION PLAN TO REFLECT THIS CONDITION AS A GRADING PLAN MAY NOT HAVE BEEN AVAILABLE FOR THE LANDSCAPE DESIGN.

MULCH:

SEE PLANT LIST FOR MULCH MATERIAL. STORM WATER PLANTERS ARE TO BE MULCHED WITH WELL DECOMPOSED COMPOST TO A DEPTH OF 3-4'.

MAINTENANCE:

MAINTENANCE TO INCLUDE TREATMENT FOR INSECTS AND DISEASE, PRUNING, MULCHING, CLEANING, AND WEEDING. MAINTAIN SMOOTH GRADES AND POSITIVE DRAINAGE. REPAIR ANY EROSION IMMEDIATELY. DO NOT ALLOW ERODING SOILS OR RUNOFF TO ENTER RIVER. WATER AND FERTILIZE ALL PLANTS AS NEEDED FOR GROWTH AND VIGOR. TIGHTEN AND REPAIR STAKES, GUYS AND TREE WRAP, RESET TO PROPER GRADE OR VERTICAL POSITION AS REQUIRED. REPLACE UNSATISFACTORY MATERIALS WITHIN ONE WORK WEEK OF IDENTIFYING MATERIAL AS UNSATISFACTORY.

KEEP WORK AND STORAGE AREAS IN A CLEAN AND ORDERLY CONDITION. REMOVE DEBRIS DAILY. KEEP ALL PAVED SURFACES AND STRUCTURE CLEAN AND FREE OF SOIL, MULCH, LEAVES, LITTER, AND DEBRIS. WASH DOWN WALKS, PAVED AREAS, WALLS AND STRUCTURES DAILY. KEEP WORK AREA IN A SAFE CONDITION. ERECT BARRIERS, COVER EXCAVATION AND TAKE OTHER MEASURES AS NECESSARY TO PROTECT THE GENERAL PUBLIC AND WORKERS ON THIS PROJECT.

THE CONTRACTOR IS REQUIRED TO MAINTAIN THE ENTIRE PROPERTY REMOVING WEEDS AND TRASH AND TENDING TO THE HEALTH OF THE PLANTS. DEAD OR DYING PLANTS ARE TO BE PROMPTLY REPLACED. EACH PLANT WILL BE IRRIGATED AS REQUIRED FOR ITS SPECIES, THIS MAY BE WITH A TEMPORARY SYSTEM, IF IRRIGATION IS OFF. THE CONTRACTOR IS REQUIRED TO MAINTAIN SMOOTH GRADES AND POSITIVE DRAINAGE THROUGHOUT THE SITE; TO REPAIR ANY EROSION IMMEDIATELY; AND PREVENT ERODING SOILS OR RUNOFF TO ENTER RIVER.

IRRIGATION:

A NEW AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM SHALL BE DESIGNED & INSTALLED BY A OREGON LICENSED IRRIGATION CONTRACTOR. IT SHALL BE A PROPERLY FUNCTIONING BALANCED SYSTEM. USE RAINBIRD OR HUNTER OR EQUIVALENT COMPONENTS. VERIFY STATIC & DYNAMIC PRESSURE & AVAILABLE GALLONS PER MINUTE BEFORE PURCHASING MATERIALS. LAWNS SHALL BE ON SEPARATE ZONES & SHALL BE IRRIGATED WITH POP-UP SPRAY HEADS, WITH HEAD TO HEAD COVERAGE OR WITH OVERLAP IN WINDY CONDITIONS. NATIVE BUNCH GRASSES TO BE ON A SEPARATE SPRAY ZONE. DRIP SYSTEM MAY BE USED FOR SHRUBS & PERENNIALS. CONTRACTOR IS TO FOLLOW MANUFACTURER'S INSTRUCTIONS FOR DESIGN & INSTALLATION. LOCATE VALVE BOXES IN PLANTERS NOT LAWN, OUT OF VIEW FROM MAIN PATHS. ALL IRRIGATION SHALL BE INSTALLED TO SERVE THE PLANTS AT THEIR MATURE SIZE. IRRIGATION SHALL NOT HIT STRUCTURES, OR FENCES.

IRRIGATION ON SLOPED AREAS SHALL RUN DRIP LINES PARALLEL WITH CONTOURS. DRIPLINE & EMITTERS SHALL BE INSTALLED UPHILL OF PLANT MATERIAL.

INSTALLATION REQUIREMENTS
9TH & HALL QUADS
5293 SW HALL BLVD & 12455 SW 9TH AVE
BEAVERTON, OREGON 97005

(541) 350-7436
P.O. Box 97
Powell Butte, OR 97753

DappledEarth.com
EILEEN OBERMILLER

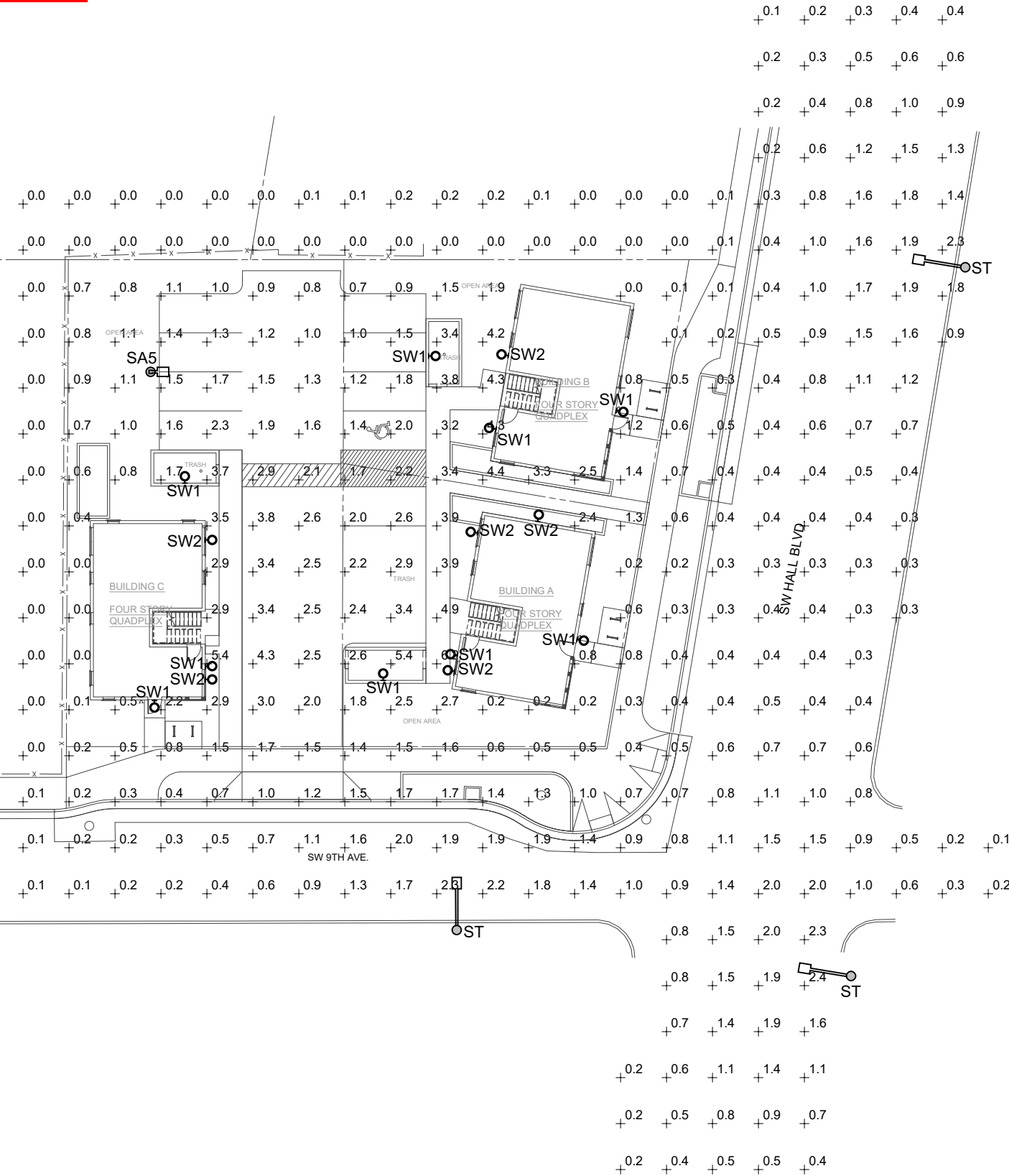


DRAWING DATE:
JUNE 26, 2023

SHEET L3
OF 3

PROJECT INFORMATION

ADDRESS: 5395 SW Hall Blvd &
 12455 SW 9th Ave



Schedule									
Symbol	Label	QTY	Mounting Height	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
	SA5	1	12' Pole	LITHONIA LIGHTING	DSX0 LED P1 40K 80CRI T5W	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 5 Wide	4665	0.95	34
	SW1	9	7' AFG	LUTEC	5198102118	LED Outdoor Light	1000	0.95	17
	SW2	6	20' AFG	RAB LIGHTING INC.	SLIMFC37N (FULL CUT-OFF HOOD)	CAST BROWN PAINTED METAL HOUSING, REFLECTOR WITH SPECULAR FINISH, CLEAR FLAT PRISMATIC GLASS LENS WITH INTEGRAL VISOR. LENS PRISMS DOWN.	221	0.95	35
	ST	3	25' On Existing Utility Wood Pole	LEOTEX LITE-ON GROUP	GCJ3-30J-MV-30K-2R-GY-FOC-PCR7-WL-RWG-PGE	Utility mast mount. LED. 3000K. Type 2 distribution. Photocontrol receptacle. With utility wattage label. PGE approved.	7062	0.95	49

NINTH AND HALL QUADPLEXES - SITE/STREET LIGHTING PHOTOMETRIC PLAN

SCALE: 1" = 30'-0"



3150 Kettle Court SE, Salem, Oregon 97301
 P 503 399 1090 F 503 399 0565 W lenityengineering.com

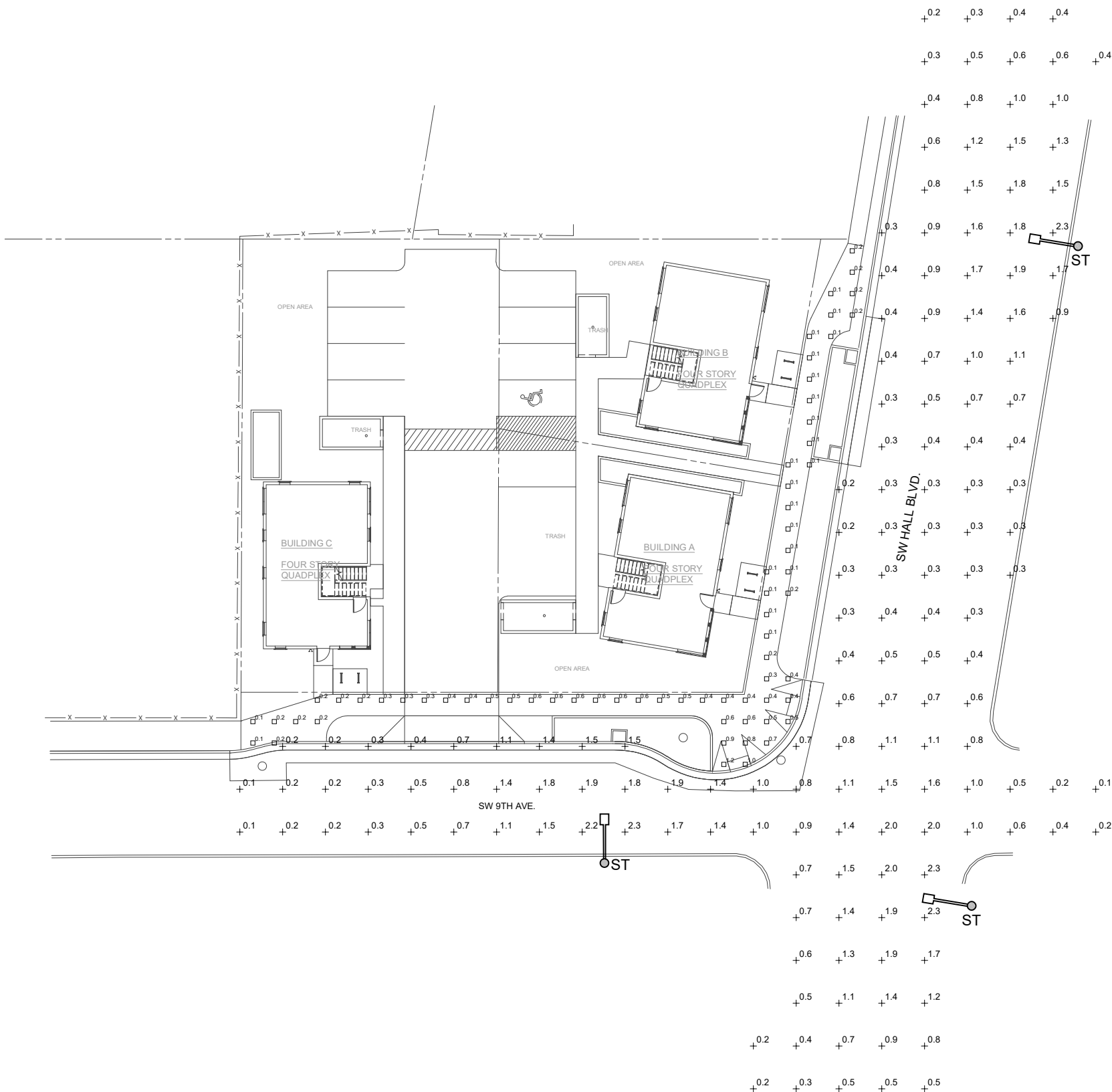
JUNE 20TH, 2023

PROJECT INFORMATION

ADDRESS: 5395 SW Hall Blvd &
12455 SW 9th Ave

GENERAL NOTES:

- A. STREET ILLUMINATION SHALL MEET THE REQUIREMENTS OF THE CITY OF BEAVERTON SECTION 450 - STREET ILLUMINATION.
- B. PROVIDE STREET LIGHTING CONTROL SYSTEM COMPLIANT WITH THE CITY OF BEAVERTON AND PORTLAND GENERAL ELECTRIC.
- C. PROVIDE STREET LIGHTING COMPLIANT THE CITY OF BEAVERTON AND PORTLAND GENERAL ELECTRIC.
- D. ALL ELECTRICAL WORK IS TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CURRENT ELECTRIC CODES, STREET LIGHTING BY AASHTO, ROADWAY LIGHTING ANSI/IESNA RP-8-00, FUNDAMENTALS OF TRAFFIC ENGINEERING, ALL NFPA CODES AND ALL OTHER APPLICABLE CODES ENFORCED BY THE AHJ.
- E. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS RELATED TO SCOPE OF WORK AND NOTIFY EOR OF ANY DISCREPANCIES.



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SIDEWALK	□	0.3 fc	1.2 fc	0.1 fc	12.0:1	3.0:1
STREET	+	0.9 fc	2.3 fc	0.1 fc	23.0:1	9.0:1

Schedule									
Symbol	Label	QTY	Mounting Height	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
⊕	ST	3	25' On Existing Utility Wood Pole	LEOTEX LITE-ON GROUP	GCJ3-30J-MV-30K-2R-GY-FOC-PCR7-WL-RWG-PGE	Utility mast mount. LED. 3000K. Type 2 distribution. Photocontrol receptacle. With utility wattage label. PGE approved.	7062	0.95	49

NINTH AND HALL QUADPLEXES - STREET LIGHTING PHOTOMETRIC PLAN

SCALE: 1" = 30'-0"



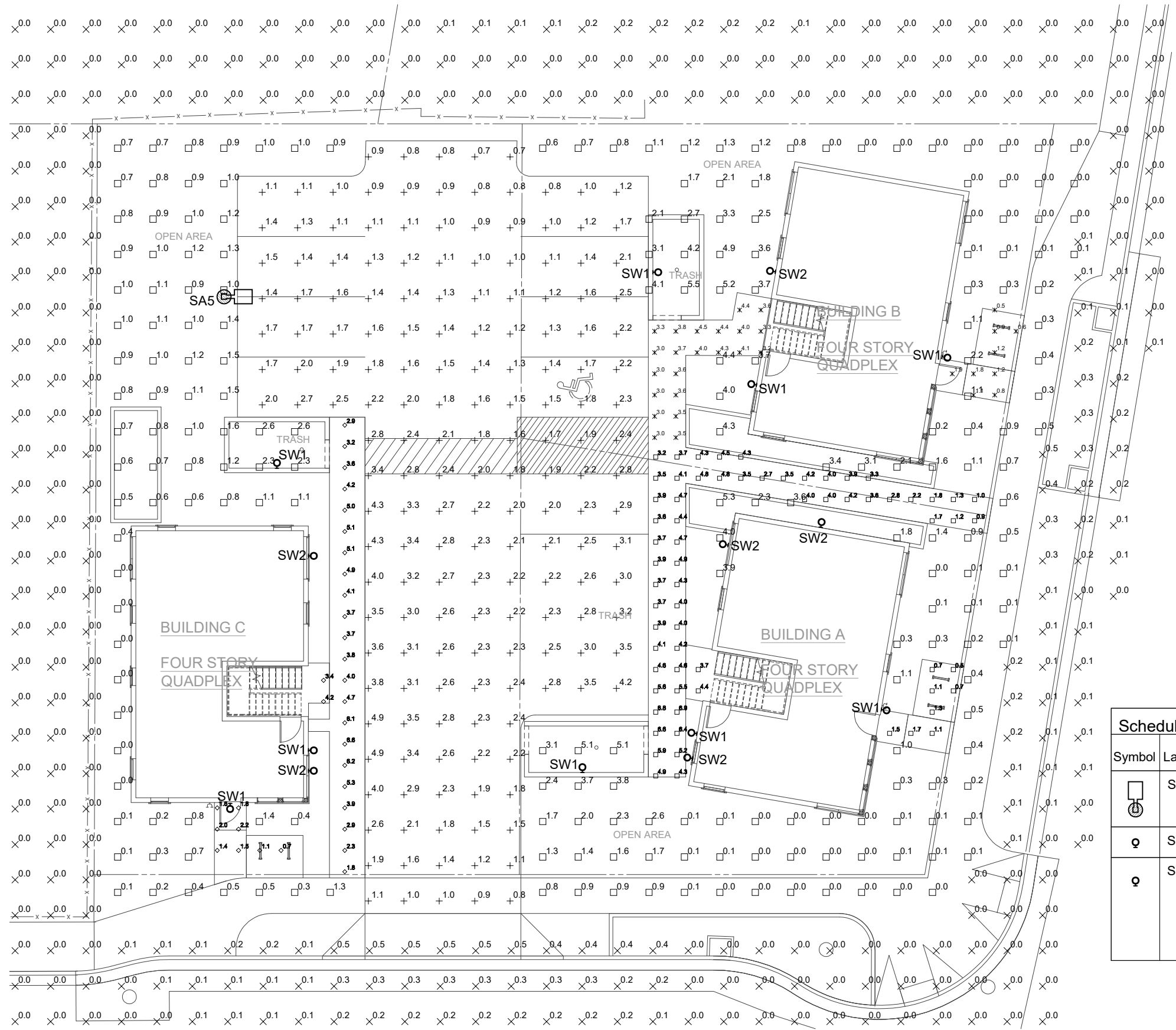
lenity
Engineering

3150 Kettle Court SE, Salem, Oregon 97301
P 503 399 1090 F 503 399 0565 W lenityengineering.com

JUNE 20TH, 2023

PROJECT INFORMATION

ADDRESS: 5395 SW Hall Blvd &
12455 SW 9th Ave



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BLDG A SIDEWALK	□	3.6 fc	6.9 fc	0.5 fc	13.8:1	7.2:1
BLDG B SIDEWALK	⊗	2.9 fc	4.5 fc	0.5 fc	9.0:1	5.8:1
BLDG C SIDEWALK	◇	3.5 fc	6.6 fc	0.7 fc	9.4:1	5.0:1
PARKING	+	2.0 fc	4.9 fc	0.7 fc	7.0:1	2.9:1
PROPERTY LINE	⊗	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
SITE	□	1.1 fc	5.5 fc	0.0 fc	N/A	N/A

Schedule									
Symbol	Label	QTY	Mounting Height	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
⊕	SA5	1	12' Pole	LITHONIA LIGHTING	DSX0 LED P1 40K 80CRI T5W	D-Series Size 0 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 5 Wide	4665	0.95	34
⊙	SW1	9	7' AFG	LUTEC	5198102118	LED Outdoor Light	1000	0.95	17
⊙	SW2	6	20' AFG	RAB LIGHTING INC.	SLIMFC37N (FULL CUT-OFF HOOD)	CAST BROWN PAINTED METAL HOUSING, REFLECTOR WITH SPECULAR FINISH, CLEAR FLAT PRISMATIC GLASS LENS WITH INTEGRAL VISOR. LENS PRISMS DOWN.	221	0.95	35

NINTH AND HALL QUADPLEXES - SITE LIGHTING PHOTOMETRIC PLAN

SCALE: 1/16" = 1'-0"



3150 Kettle Court SE, Salem, Oregon 97301
P 503 399 1090 F 503 399 0565 W lenityengineering.com

JUNE 20TH, 2023